
Westfield West Covina

Exterior Signage City Submittal

Submitted 05.20.2010
revised 05.21.2010
revised 06.30.2010
revised 11.05.2010
revised 11.10.2010

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Introduction

Purpose

The purpose of this sign program is to ensure the design and production of quality signage for this center which reflects the integrity of the architecture and the intent of the Landlord and the City of West Covina. Both center I.D. signs and tenant signage are addressed.

The tenant sign program has been developed to communicate the particular parameters each tenant is to follow so their individual store signage will be effective and also compliment the project as a whole. Performance will be strictly enforced and any non-conforming signs will be removed by the Landlord within sixty (60) days at the tenant's sole expense.

Tenant Design Direction

The intent of this master sign program is to encourage design creativity, provide options, and establish minimum and maximum letter sizes, sign area allowances, and locations for each sign type, subject to the sole discretionary approval of the Landlord, the City of West Covina, and the West Covina Redevelopment Agency within the context of this sign program.

Tenant Approval Process

Tenant shall first submit to Landlord through the tenant's sign company for approval before fabrication, three (3) copies (one in color) of detailed drawings indicating the location, size, layout, design and color of the proposed sign, including all the lettering and/or logo, prior to submitting the to the City of West Covina for review, approval and permit.

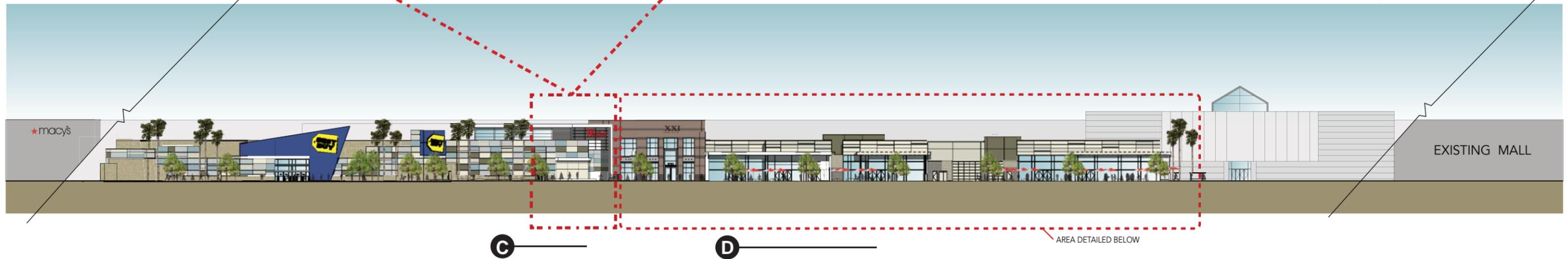
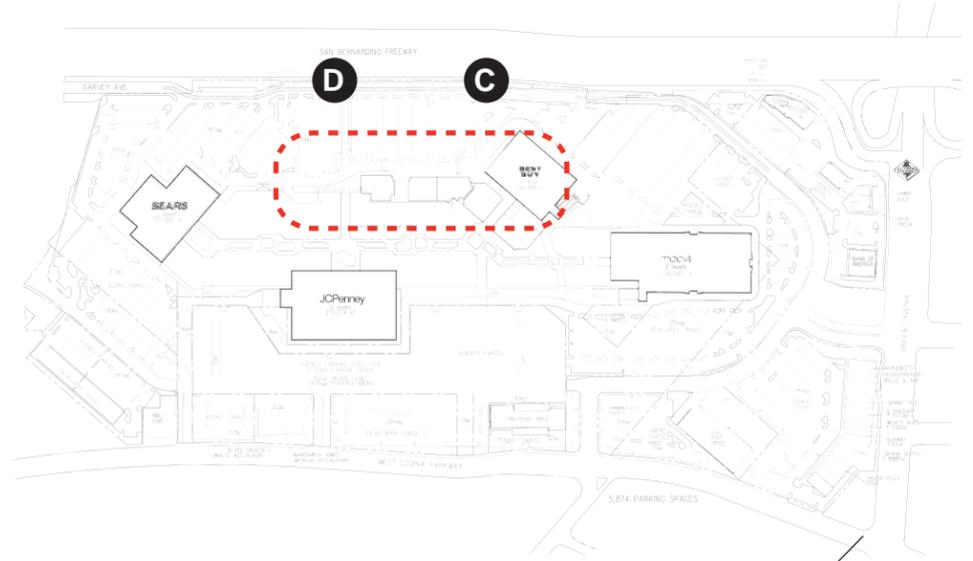
Once approved by the Landlord, three (3) sets of plans shall be then submitted to the City of West Covina Planning Department for review, and approval prior to submittal to the Building and Engineering Department for issuance of permits.

All permits for signs and their installation shall be obtained by tenant or it's representative prior to installation. Tenant shall be responsible for submitting its sign drawings to the appropriate city agency for its permits and approval.

A dated signature of approval by the Landlord will be placed on each sign working drawing prior to submittal to the City of West Covina for building permit. Above mentioned approval procedure must be accomplished by the Tenant or its representative prior to any installation.

Projecting signs shall be applied for through the Administrative Use Permit process. One is permitted per north-facing storefront facade.

Dimensions of tenant storefronts may vary.



85'-8": storefront width
Identification sign area: 85.6sf
Window sign: 25% of window area max.
One projecting sign @ 6sf

43'-0": storefront width
Identification sign area: 43sf
Window sign: 25% of window area max.
One projecting sign @ 6sf

26'-0": storefront width
Identification sign area: 26sf max.
Window sign: 25% of window area max.
One projecting sign @ 6sf

19'-0": storefront width
Identification sign area: 19sf
Window sign: 25% of window area max.
One projecting sign @ 6sf

69'-0": storefront width
Identification sign area: 69sf
Window sign: 25% of window area max.
One projecting sign @ 6sf

50 linear feet of storefront
Identification sign: 50 sf
Window sign: 25% of window area max.
Projecting signs: (1) @ 6 sf

48 linear feet of storefront
Identification sign: 48 sf
Window sign: 25% of window area max.
Projecting signs @ 6sf

44'-0": storefront width
Identification sign area: 44sf
Window sign: 25% of window area max.
One projecting sign @ 6sf

MT01 MT02

MT13

MT14

MT15

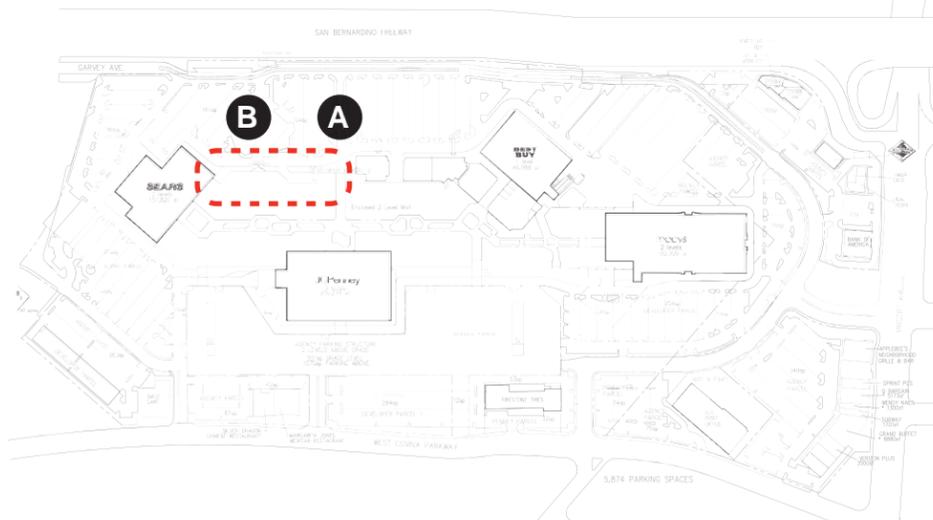
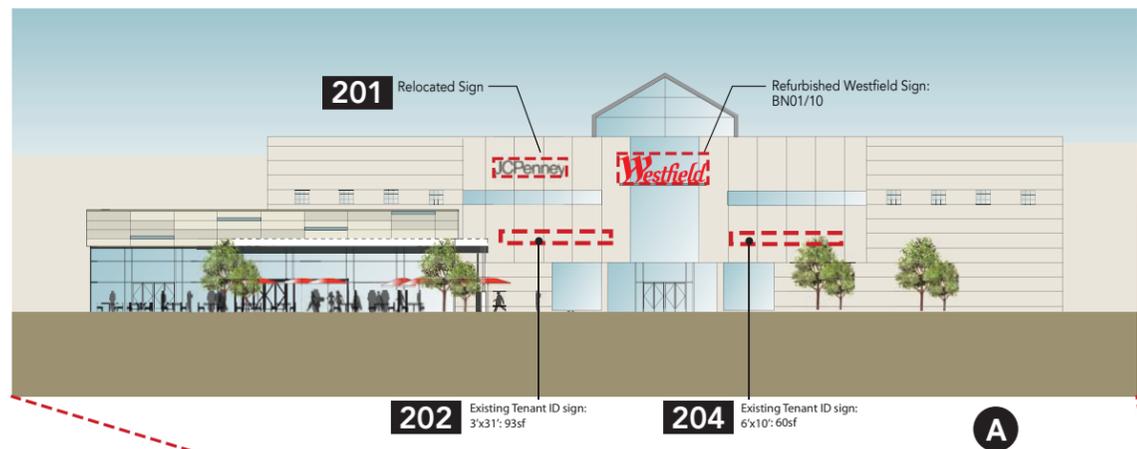
MT16

MT17

MT18

Projecting signs shall be applied for through the Administrative Use Permit process. One is permitted per north-facing storefront facade.

Dimensions of tenant storefronts may vary.



OVERALL SITE ELEVATION

SCALE: 1"=30'



Tenant Signs General Sign Criteria

General Notes:

Three (3) square feet of signage is allowed for every 1 lineal foot of frontage, up to a maximum area of 300 square feet, or as allowed by the West Covina Sign Ordinance, whichever is less. See below for detail limitations to this allowance. Logos/icons/symbols are a portion of a sign. When a sign includes a logo, icon or symbol the portion of the sign that is not a logo, icon or symbol shall not exceed the maximum allowable letter height. When the whole sign is a logo, icon or symbol the maximum allowable sign height shall comply with the following letter/sign height allowance.

Maximum 75 percent of storefront width

MAJOR TENANT (Anchor)

Major tenants are defined by a lease space over 100,000 square feet. Maximum letter/sign height allowance will be **8'-0"**, logos/icons/symbols **10'-0"**. Maximum two lines of copy is allowed provided the maximum overall height does not exceed **8'-0"**.

Tenant Signs General Sign Criteria

General Notes:

Three (3) square feet of signage is allowed for every 1 lineal foot of frontage, up to a maximum area of 250 square feet, or as allowed by the West Covina Sign Ordinance, whichever is least. See below for detail limitations to this allowance. Logos/icons/symbols are a portion of a sign. When a sign includes a logo, icon or symbol the portion of the sign that is not a logo, icon or symbol shall not exceed the maximum allowable letter height. When the whole sign is a logo, icon or symbol the maximum allowable sign height shall comply with the letter/sign height allowance.



A tenant with lease space between 15,000 sf and 99,999 sf . Maximum letter/sign height allowance will be **5'-0"**, logos/icons/symbols **6'-0"**. Maximum two lines of copy is allowed provided the maximum overall height does not exceed **5'-0"**.

Tenant Signs

General Sign Criteria

General Notes:

Three (3) square feet of signage is allowed for every 1 lineal foot of frontage, up to a maximum area of 100 square feet, or as allowed by the West Covina Sign Ordinance whichever is least. See below for detail limitations to this allowance. Logos/icons/symbols are a portion of a sign. When a sign includes a logo, icon or symbol the portion of the sign that is not a logo, icon or symbol shall not exceed the maximum allowable letter height. When the whole sign is a logo, icon or symbol the maximum allowable sign height shall comply with the letter/sign height allowance.

Maximum 75 percent of storefront length

PAD TENANT

Pad tenants are defined as an independent building, separated from the main mall structure. Maximum letter/sign height allowance will be **3'-0"**, logos/icons/symbols **4'-0"**. Maximum two lines of stacked copy is allowed provided the maximum overall height does not exceed **3'-0"**.

Exterior In-Line Tenant Signs

General Sign Criteria

The following are general guidelines to be used in the development of all signage and graphic elements.

Tenant signage shall be limited to the tenant's business name, as registered on the lease agreement. Nationally recognized tenants may use a crest, shield, logo or other established corporate insignias, but are encouraged to incorporate them in a three-dimensional approach befitting of the image of the district in which they are located.

Signage and environmental graphics must be conceived as an integral part of the storefront design so that they do not appear as an afterthought application.

All signs must fit comfortably into their storefront architecture, leaving sufficient margins and negative space on all sides. Thickness, height and colors of sign lettering and graphics must be visually balanced and in proportion with other signs within the project. Tenant signs must be visually appropriate, well proportioned, creatively designed for the Tenant's designated area, and approved by the Landlord, the City of West Covina, and West Covina Redevelopment Agency.

All illuminated signs must be controlled by tenant's time clock and illuminated during general operating hours as defined by the Landlord.

Maintenance of each sign is the responsibility of the Tenant who erected and installed it. Letter forms or letter faces which require repair must be replaced or repaired within thirty (30) days of damage or notice from Landlord. If the signage is not rectified within the thirty (30) day period, the Landlord will immediately repair the sign at the Tenant's expense.

Signs will be free of all labels and manufacturer's advertising. Labels required by code shall be located on top of letterforms so as to not be visible, unless required to be.

No sign shall extend above the wall that it is mounted to. Roof mounted signage will not be allowed, however, signage located on architectural elements projecting out from the main building may have portions of that sign that projects above the top of that element as long as the main building façade acts as a backdrop.

All signs shall be adequately illuminated. External illumination is allowed.

Signage and graphics applied directly to the storefront glass must have matching letters and features on both sides of the glass to create a finished look when viewed from either side.

No sign will be painted directly onto a wall or surface of any building.

Banners, pennants, or temporary signs may not be displayed on any building or in the parking area, and temporary signs may not be placed on the inside surface of any window or hung closer than three feet (3') behind the inside window without prior approval of the landlord, and in compliance with the city of West Covina signage standards.

Tenant seasonal promotion signage will be permitted only upon review and approval of the Landlord, the City of West Covina, and West Covina Redevelopment Agency.

The Tenant will be fully responsible for the operation of his sign contractor and will indemnify, defend and hold harmless the Landlord and their agents from damages or liabilities resulting from the Tenant contractor's work.

Tenant shall immediately remove all signs representing a discontinued service and /or project within 30 days, if not the Landlord within 60 days, shall remove the sign at the Tenant's expense.

Upon vacation of space by Tenant, any damage to the building fascia or sign area will be repaired by Tenant, or by the Landlord at tenant's expense. Repair work to be completed within a ten (10) day period from date of removal.

All signs must be presented to the Landlord for approval prior to commencing fabrication.

Signage and graphics for exterior-facing inline tenants under 15,000 sf must not exceed one sq.ft. per linear foot of storefront frontage. Total frontage is defined by the limits of the tenant lease line.



Accepted Signage Approaches and Types:

Contemporary elements to create an avant-garde appearance.

Application of innovative technologies

Dimensional letterforms with seamless edge treatments.

Reverse channel letters

Cut or fabricated steel, painted or unfinished.

Etched metal or glass, sandblasted glass.

Polished metal but not mirror finish.

Dimensional shapes and forms of metal, glass or other material with a permanent appearance.

Dimensional geometric shapes and three-dimensional forms.

Glazed ceramic tiles work forming patterns and/or fields.

Fibre-optic and LED illumination

Silhouette illuminations.

Front-lighting such as billboard lighting - lighting must be shielded

Channel letters with light transmitting acrylic faces are allowable for tenants with street-facing storefronts only.

Prohibited Signage Approaches and Types:

Internally illuminated awnings with or without signage.

Exposed neon signage

Cloth, paper, cardboard, stickers or decals

Noise-making signs

Conventional plastic faced box or cabinet signs

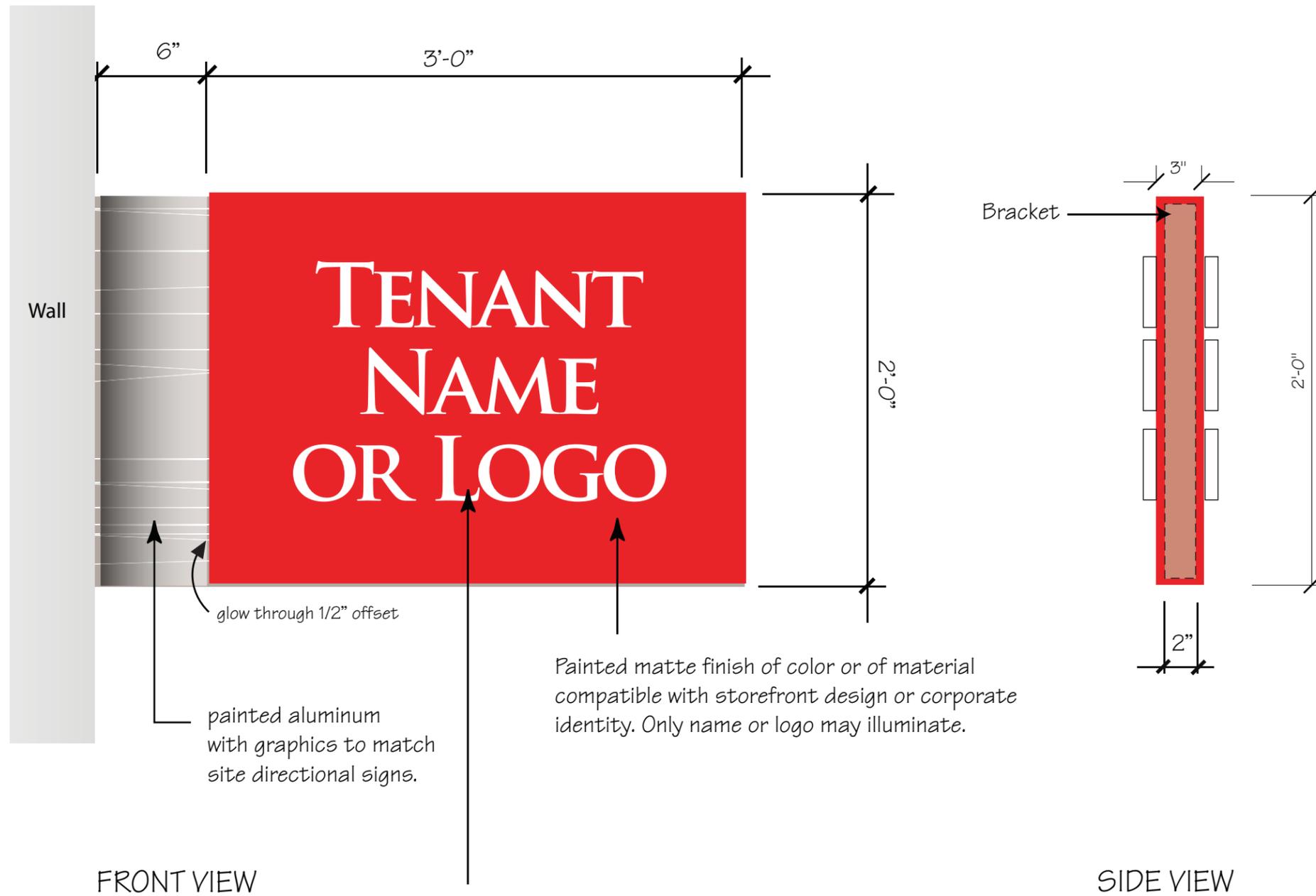
Formed plastic or injection molded type signs

Luminous vacuum formed letters

Temporary wall signs, window signs, pennants, banners, flags, inflatable displays or sandwich boards

Cloth, paper cardboard or foam signs or decals hung around, on or behind storefronts

Animated signs consisting of anything swinging, rotating, flashing, blinking, scintillating, strobing, including any electronic message boards or centers temporary lighting such as but not limited to search, flood or fluorescent gel lights.



FRONT VIEW
Drawing not to scale

SIDE VIEW

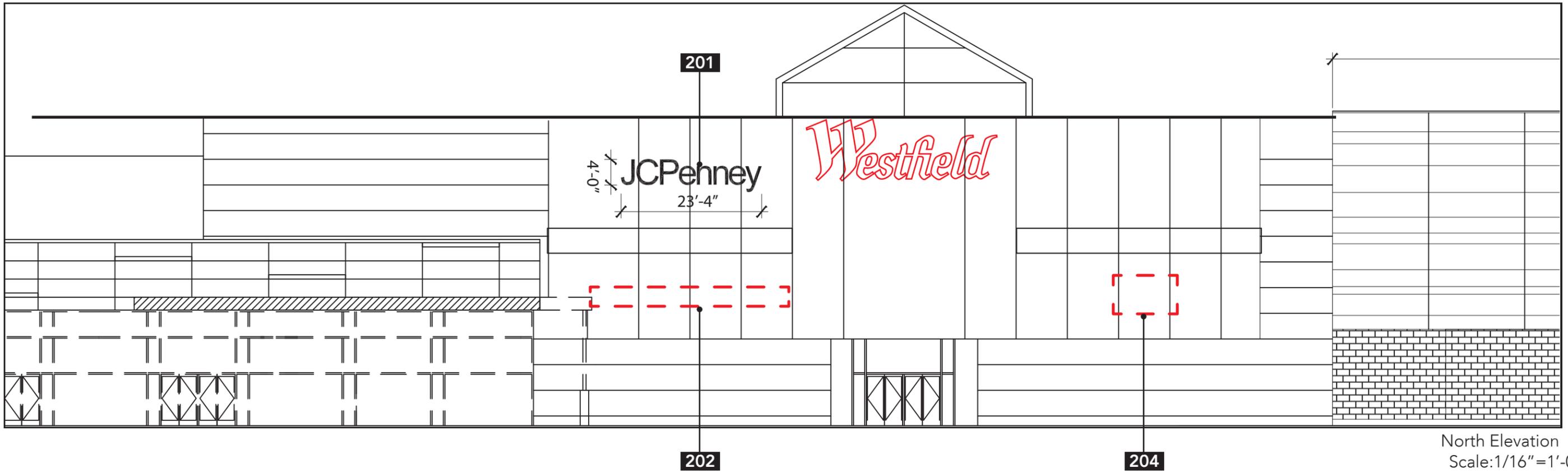
glow through 1/2" offset

painted aluminum with graphics to match site directional signs.

Painted matte finish of color or of material compatible with storefront design or corporate identity. Only name or logo may illuminate.

Internally illuminated push-through white or frosted clear plex letters, logo or graphics.

One projecting sign is allowed per storefront elevation and must be applied for through the administrative use permit process.



Existing Sign Location



New Sign Location

TYPE	No.	Tenant	Location	Height	Width	SQ.FT.
Wall	201	JCPenney (TO BE RELOCATED)	North - Wall	6'-0"	35'-0"	210
Wall	202	Men's Warehouse	Upper	3'-0"	31'-0"	93
Wall	203	Men's Warehouse	Lower	1'-6"	13'-6"	20
Wall	204	Red Robin	Upper	6'-0"	10'-0"	60
Wall	205	Red Robin	Lower	2'-6"	4'-6"	11
Wall	207	* Sport Authority	Center	6'-0"	42'-0"	252
Wall	208	* Sport Authority	Right	5'-0"	27'-3"	136
Wall	209	* Round Table	Wall	7'-6"	11'-6"	86
Wall	211	Sears	North	10'-0"	50'-0"	500
Wall	212	Sears	West	10'-0"	50'-0"	500
Wall	213	Sears	South	10'-0"	50'-0"	500
Wall	214	JCPenney	West	5'-0"	30'-0"	150
Wall	215	JCPenney	South - Lower	2'-0"	10'-9"	21
Wall	216	JCPenney	South - Upper	8'-0"	43'-9"	350
Wall	217	JCPenney	East - Lower	2'-0"	10'-9"	21
Wall	218	JCPenney	East - Upper	5'-0"	30'-0"	150
Wall	220	Macy's	South - Wall	6'-6"	64'-6"	419
Wall	221	Macy's	East - Wall	6'-6"	64'-6"	419
Wall	223	Macy's	North - Wall	6'-6"	64'-6"	419
Wall	226	Best Buy	North	6'-0"	32'-0"	192
Wall	227	Best Buy	West	6'-0"	32'-0"	192
Wall	280	Geek Squad	East	6'-0"	3'-0"	18

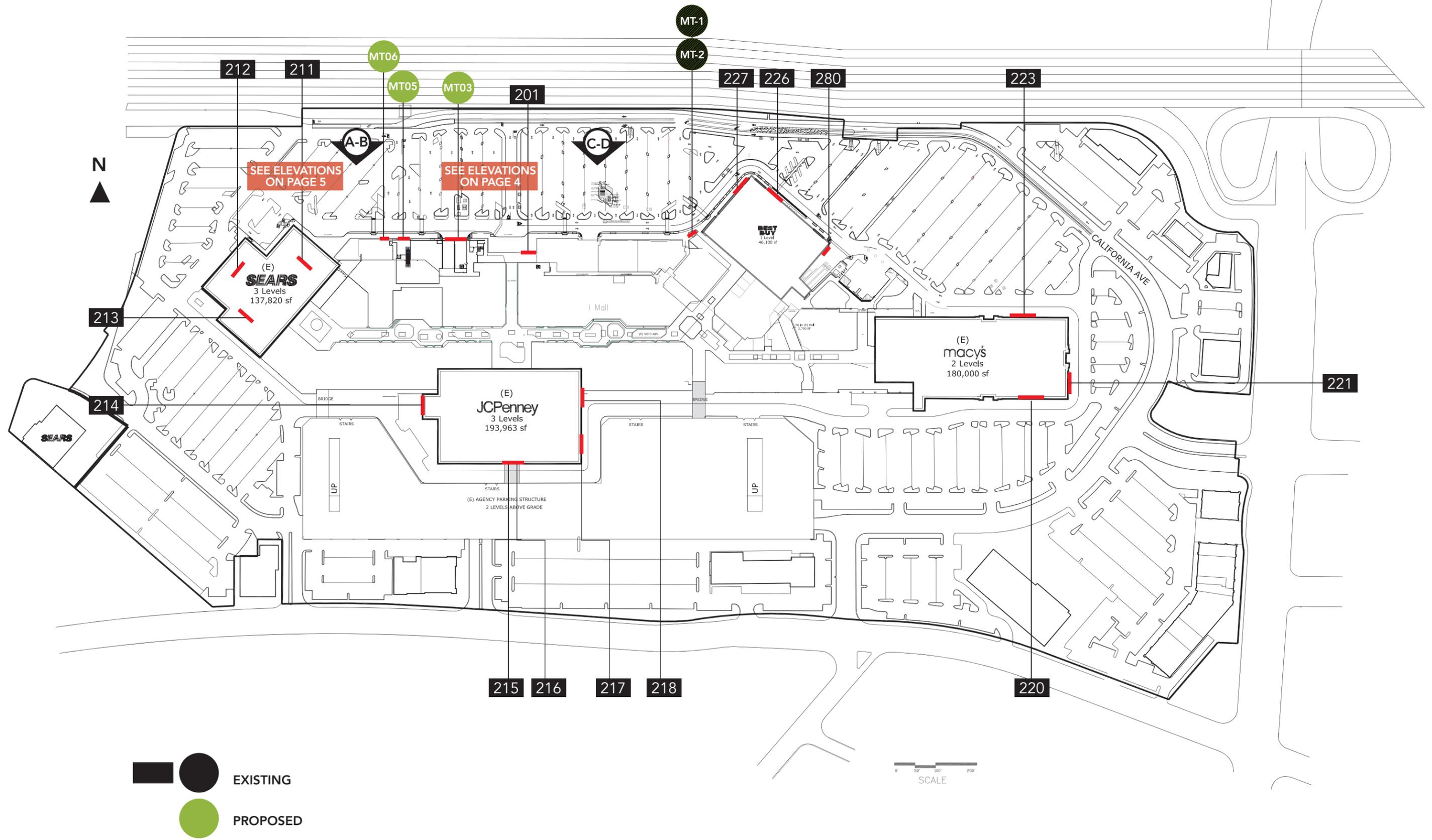
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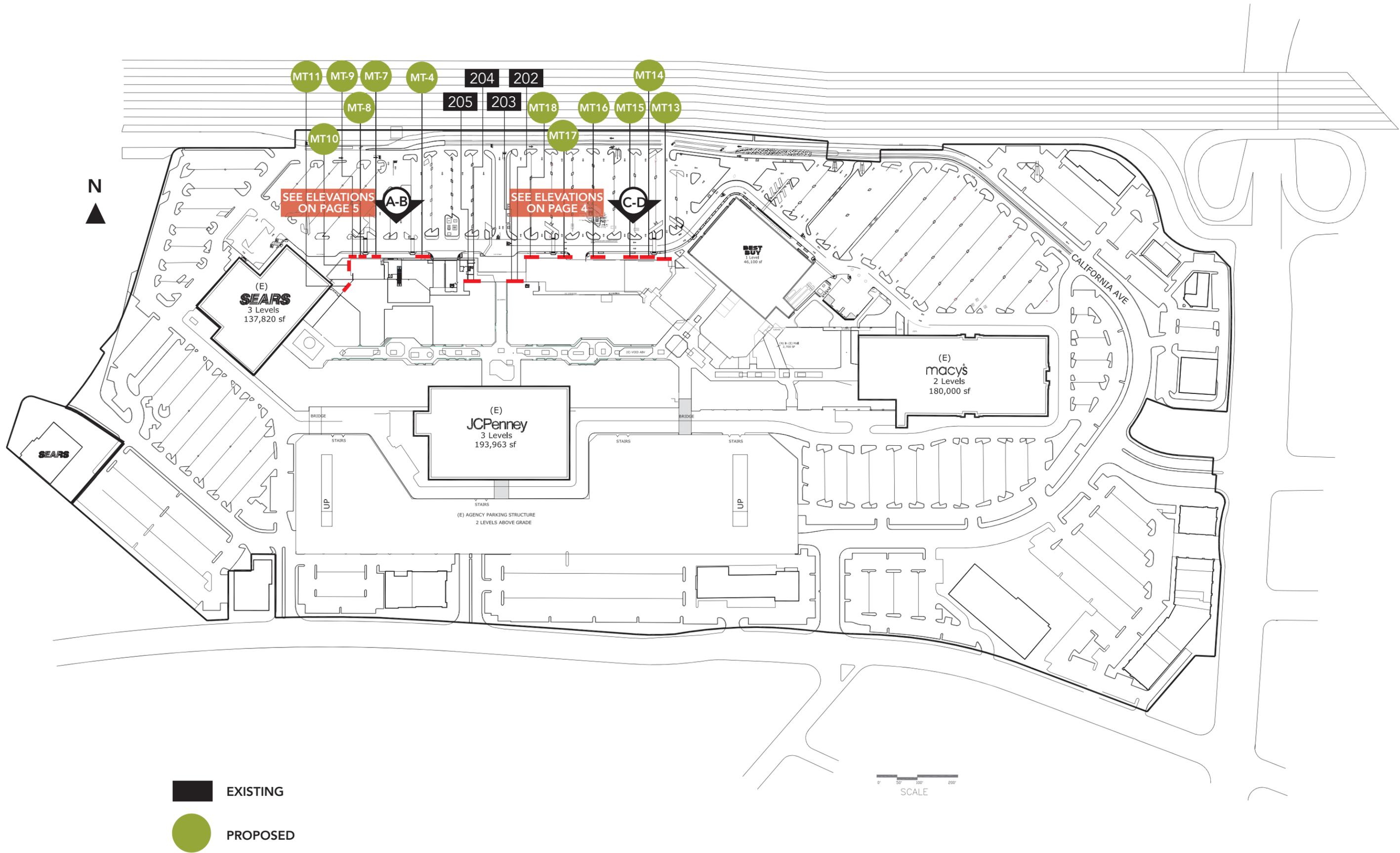
TYPE	No.	Tenant	Location	Height	Width	SQ.FT.
Wall	MT1	XXI Forever	North - Wall	5'-0"	11'-0"	55 MAX.
Wall	MT2	XXI Forever	North - Wall	1'-6"	4'-0"	6 MAX.
Wall	MT3	Nordstrom Rack	North- Wall	5'-0"	45'-0"	226 MAX.
Wall	MT4	Tenant	North - Wall	3'-0"	20'-0"	60 MAX.
Wall	MT5	Nordstrom Rack	North - Wall	3'-0"	15'-0"	46 MAX.
Wall	MT6	Gold's Gym	North- Wall	4'-0"	32'-0"	130 MAX.
Wall	MT7	Tenant	North-Wall	3'-0"	14'-0"	42 MAX.
Wall	MT8	Tenant	North-Wall	3'-0"	13'-0"	40 MAX.
Wall	MT9	Lenscrafters	North-Wall	3'-0"	14'-0"	42 MAX.
Wall	MT10	Tenant	West Wall	3'-0"	11'-0"	34 MAX.
Wall	MT11	Lens Crafter	North-Wall	3'-0"	8'-0"	24 MAX.
Wall	MT13	Tenant	North-Wall	3'-0"	14'-0"	43 MAX.
Wall	MT14	Tenant	North-Wall	3'-0"	8'-0"	26 MAX.
Wall	MT15	Tenant	North-Wall	3'-0"	6'-0"	19 MAX.
Wall	MT16	Tenant	North-Wall	3'-0"	23'-0"	69 MAX.
Wall	MT17	Tenant	North-Wall	3'-0"	16'-0"	50 MAX.
Wall	MT18	Tenant	North-Wall	3'-0"	16'-0"	48 MAX.

EXISTING PAD TENANT SIGN INVENTORY

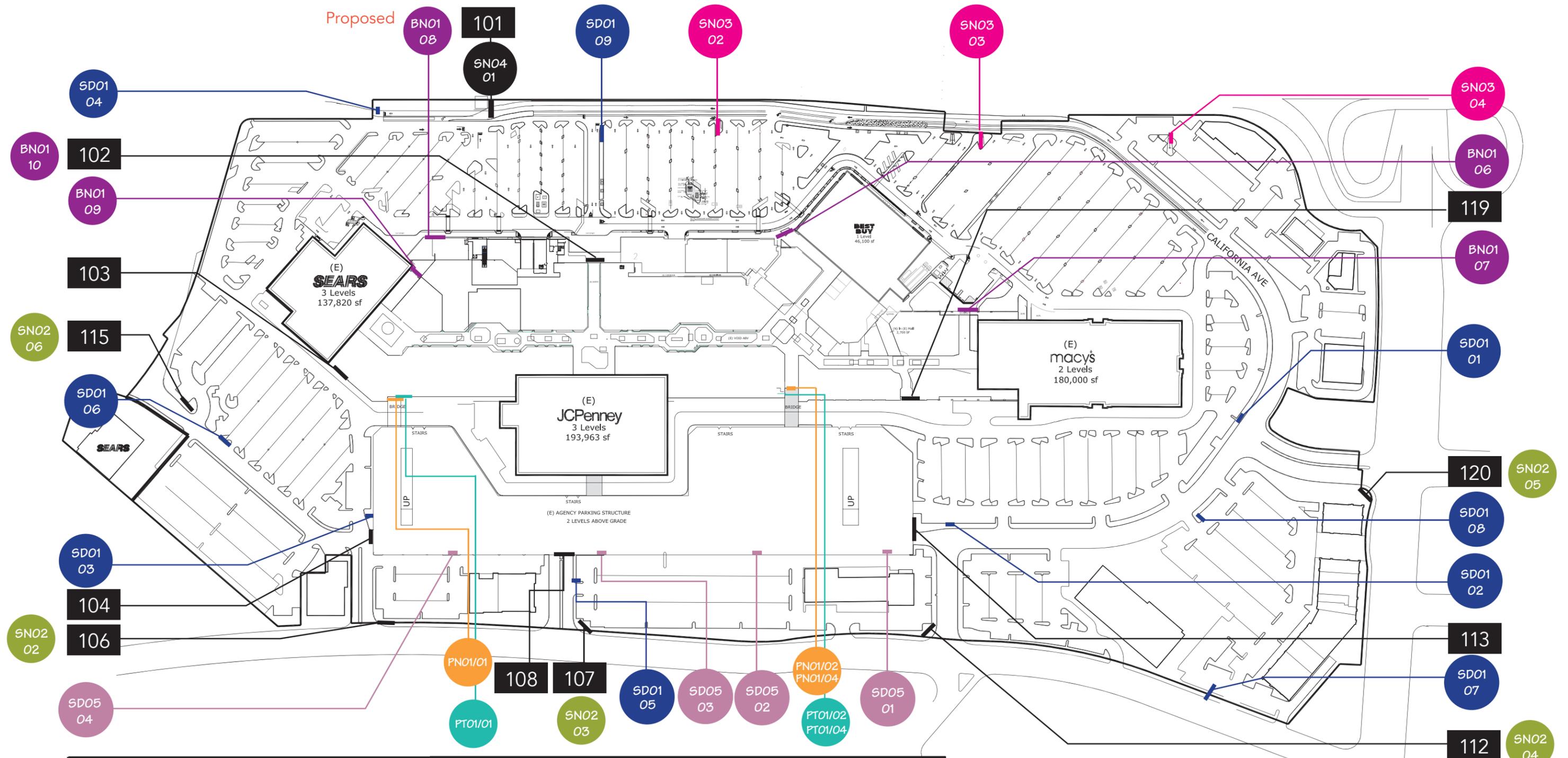
TYPE	No.	Tenant	Location	Height	Width	SQ.FT.
Wall	309	Firestone	South	6'-0"	20'-0"	120
Wall	310	Firestone	West	6'-0"	20'-0"	120
Wall	311	Firestone	North	4'-0"	17'-3"	69
Wall	312	Firestone	East	5'-0"	19'-0"	95
Wall	313	Schoolfirst Union	West	3'-0"	15'-0"	45
Wall	314	Verizon Plus	West	2'-0"	12'-0"	24
Wall	315	Grand Buffet	East	2'-0"	12'-0"	24
Wall	316	Subway	West	3'-6"	9'-3"	32
Wall	317	Subway	East	3'-6"	9'-3"	32
Wall	318	Wendy Nails	West	3'-0"	8'-0"	24
Wall	319	Q Bargain	East	3'-0"	8'-0"	24
Wall	320	Q Bargain	West	3'-0"	8'-0"	24
Wall	321	Sprint PCs	West	3'-0"	7'-0"	21
Wall	322	Sprint PCS	East	3'-0"	7'-0"	21
Wall	323	Applebee's	South	9'-0"	18'-6"	166
Wall	324	Applebee's	East	9'-0"	18'-6"	166

TYPE	No.	Tenant	Location	Height	Width	SQ.FT.
Wall	325	Applebee's	North	9'-0"	18'-6"	166
Wall	326	Applebee's	West	9'-0"	18'-6"	166
Wall	327	Bank of America	West	2'-6"	19'-0"	47
Wall	328	Bank of America	East	2'-6"	19'-0"	47
Wall	329	Bank of America	North	3'-0"	12'-0"	36
Wall	330	Jamba Juice	West	2'-0"	10'-0"	20
Wall	332	Jamba Juice	East	2'-0"	7'-0"	14
Wall	335	Jamba Juice	North	3'-0"	8'-0"	24
Wall	331	Baja Fresh	South	3'-0"	11'-0"	33
Wall	333	Baja Fresh	East	3'-0"	23'-6"	70
Wall	334	Baja Fresh	North	2'-0"	10'-0"	20
Wall	336	California Pizza	SE	4'-6"	4'-6"	20
Wall	337	California Pizza	SW	4'-6"	4'-6"	20
Wall	338	California Pizza	NE	3'-0"	20'-0"	60
Wall	339	California Pizza	NW	4'-6"	4'-6"	20
Wall	340	Bob's Big Boy	East	5'-3"	8'-0"	42
Wall	341	Bob's Big Boy	North	5'-3"	8'-0"	42
Wall	342	Bob's Big Boy	South	5'-3"	8'-0"	42
Wall	343	AT&T	West	6'-0"	7'-0"	42





Proposed

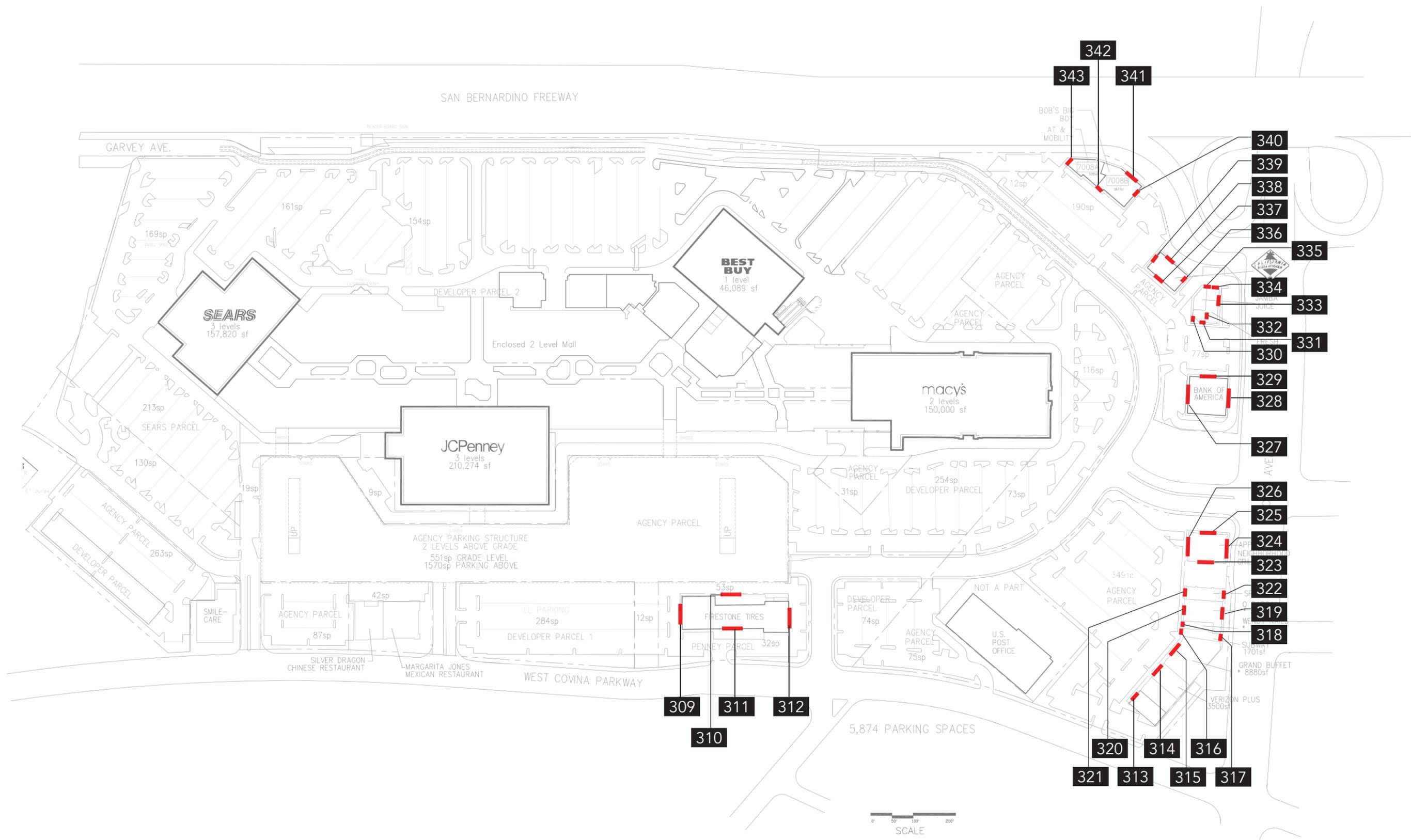


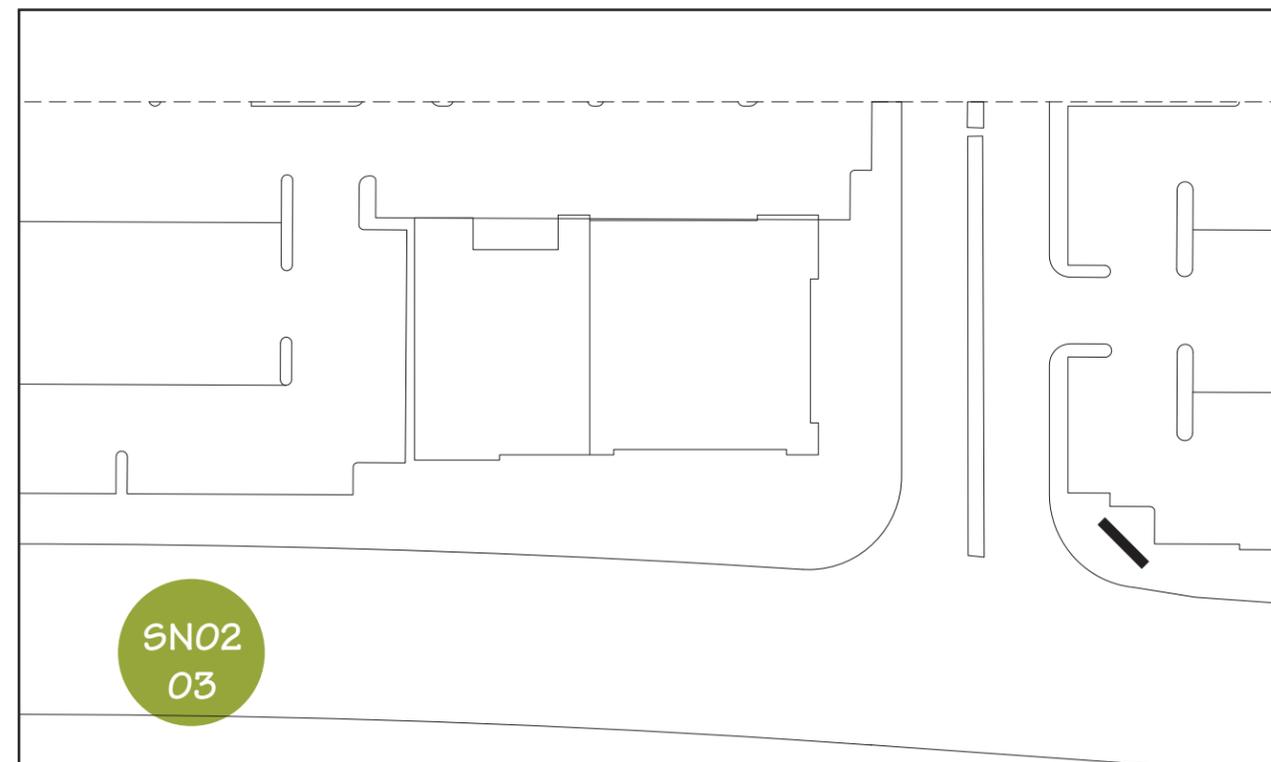
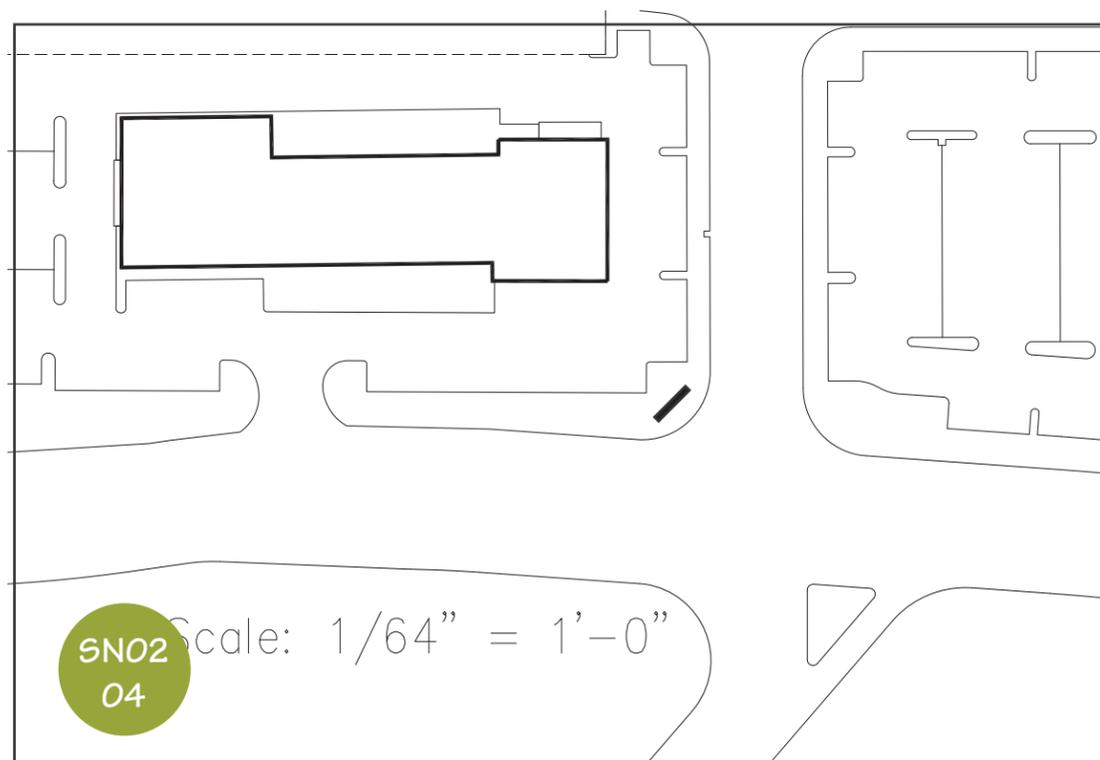
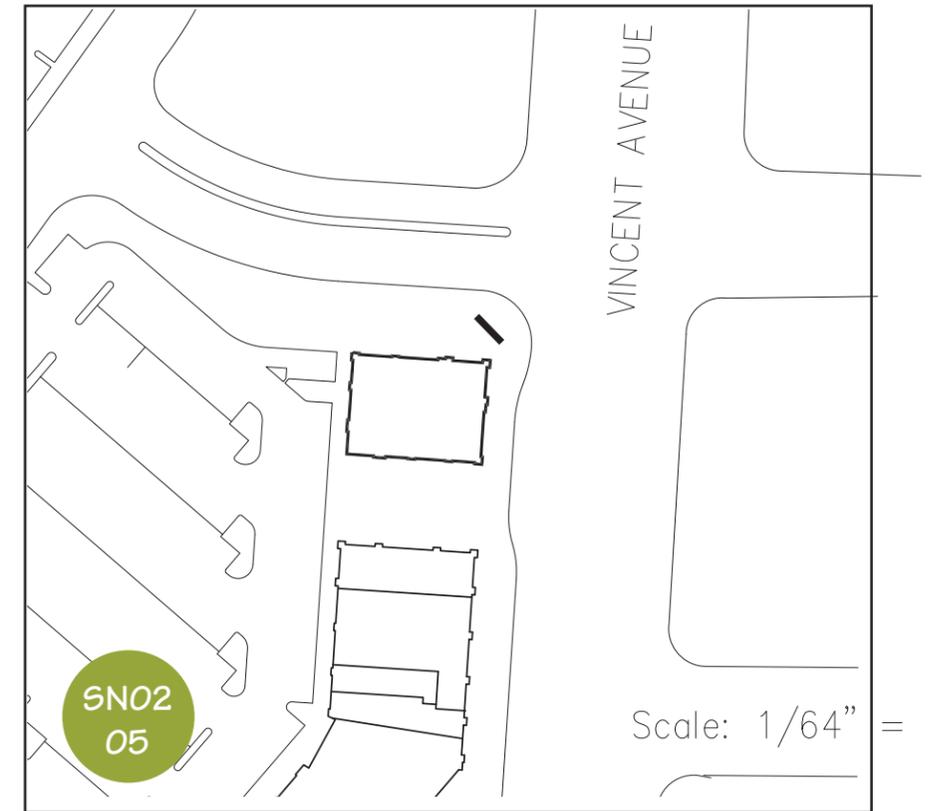
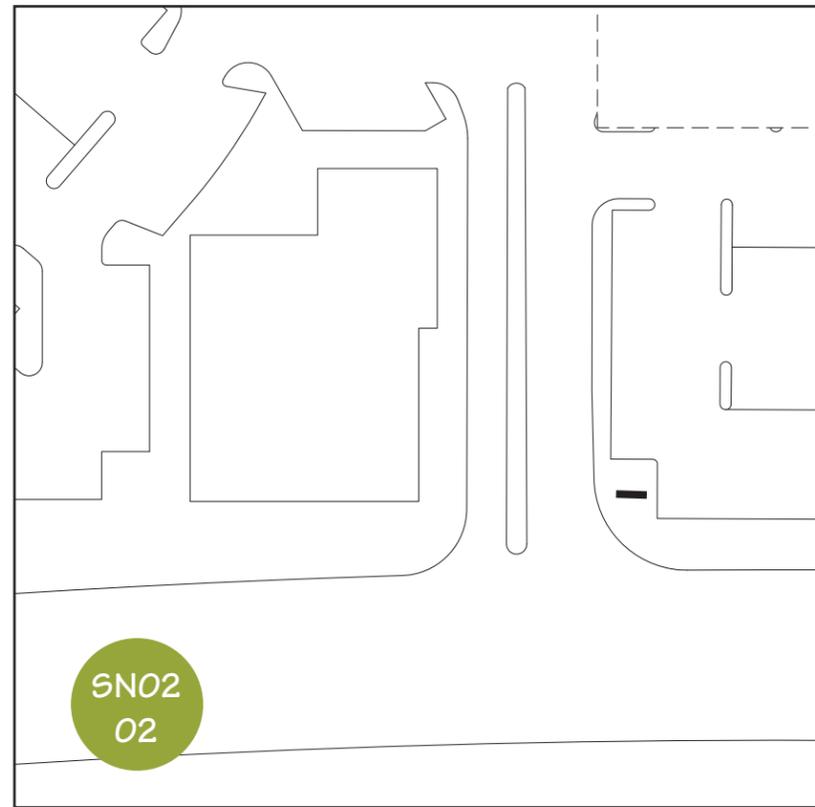
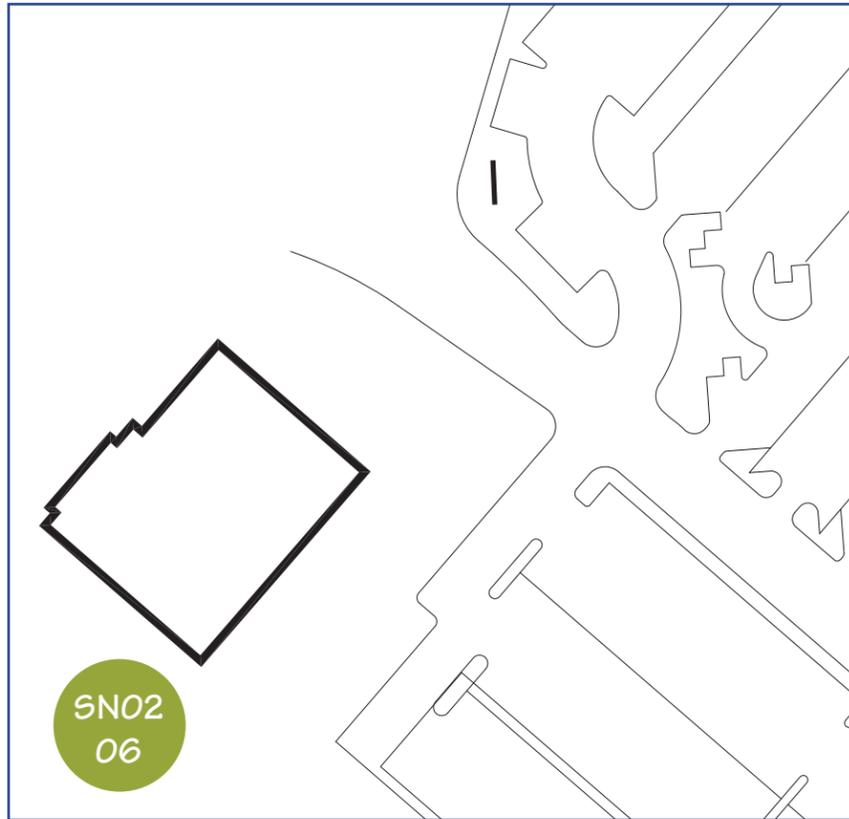
LEGEND	
■ SN03	Center Identification Sign
■ SD01	Site Directional, Freestanding
■ SD05	Site Directional, Wall-mounted
■ BN01	Building Identity, Building Mounted
■ PN02	Parking Identity Entry, Wall-mounted, <i>Proposed</i>
■ SN02	Entry Monuments, Free-standing, <i>Proposed</i>
■ PT01	Parking Deck Entries, Wall-mounted, <i>Proposed</i>
■ SN04	Existing

see page 28

Name	Sign Type	Replacing Sign Type	Height	Width	SF	Comments
Pylon	SN04/1	101	57'-6"	32'-5"	512	refurbish existing/reduce panel size
Entry Monument	SN02 / 02	106	7'-9"	4'-6"	109	or 44.5sf calculation based on sign portions only
Entry Monument	SN02 / 03	107	6'-10"	18'-4"	109	or 44.5sf calculation based on sign portions only
Entry Monument	SN02 / 04	112	6'-10"	18'-4"	109	or 44.5sf calculation based on sign portions only
Entry Monument	SN02 / 05	120	6'-10"	18'-4"	109	or 44.5sf calculation based on sign portions only
Entry Monument	SN02 / 06	115	6'-10"	18'-4"	109	or 44.5sf calculation based on sign portions only
Center ID Sign	SN03 / 02		60'-0"	27'-6"	1650	or 960sf calculating sign panels only
Center ID Sign	SN03 / 03		60'-0"	27'-6"	1650	
Center ID Sign	SN03 / 04		60'-0"	48'-0"	2880	
Site Directional	SD01 / 01		7'-9"	4'-6"	35	
Site Directional	SD01 / 02		7'-9"	4'-6"	35	
Site Directional	SD01 / 03		7'-9"	4'-6"	35	
Site Directional	SD01 / 05		7'-9"	4'-6"	35	
Site Directional	SD01 / 06		7'-9"	4'-6"	35	
Site Directional	SD01 / 07		7'-9"	4'-6"	35	
Site Directional	SD01 / 08		4'-0"	13'-0"	80	
Site Directional	SD01 / 09		7'-9"	4'-6"	35	
Site Directional	SD02 / 02		7'-9"	4'-6"	35	
Site Directional/wall	SD05 / 01		5'-6"	5'-6"	30	
Site Directional/wall	SD05 / 02		5'-6"	5'-6"	30	
Site Directional/wall	SD05 / 03		5'-6"	5'-6"	30	
Site Directional/wall	SD05 / 04		5'-6"	5'-6"	30	
Building Identity/wall	BN01 / 06		6'-10"	21'-2"	145	
Building Identity/wall	BN01 / 07		5'-8"	17'-6"	99	
Building Identity/wall	BN01 / 08		8'-8"	27'-10"	241	
Building Identity/wall	BN01 / 09		8'-8"	27'-10"	241	
Building Identity/wall	BN01 / 10	102	8'-8"	27'-10"	241	
Mall Entry@Garage	PN01 / 01		4'-0"	13'-6"	54	
Mall Entry@Garage	PN01 / 02		4'-0"	13'-6"	54	
Mall Entry@Garage	PN01 / 04		1'-8"	5'-0"	8.3	
Parking Deck Entry (tenants)	PT01/01		4'-5"	6'-9"	30	
Parking Deck Entry (tenants)	PT01/ 02		4'-5"	6'-9"	30	
Parking Deck Entry (tenants)	PT01/ 04		4'-5"	6'-9"	30	
Building Identity/wall	103		8'-9"	18'-0"	157	
Building Identity/wall	104		4'-10"	8'-6"	41	
Building Identity/wall	108		4'-10"	8'-6"	41	
Building Identity/wall	113		4'-10"	8'-6"	41	
Building Identity/wall	119		6'-6"	13'-6"	88	

Red indicates PROPOSED





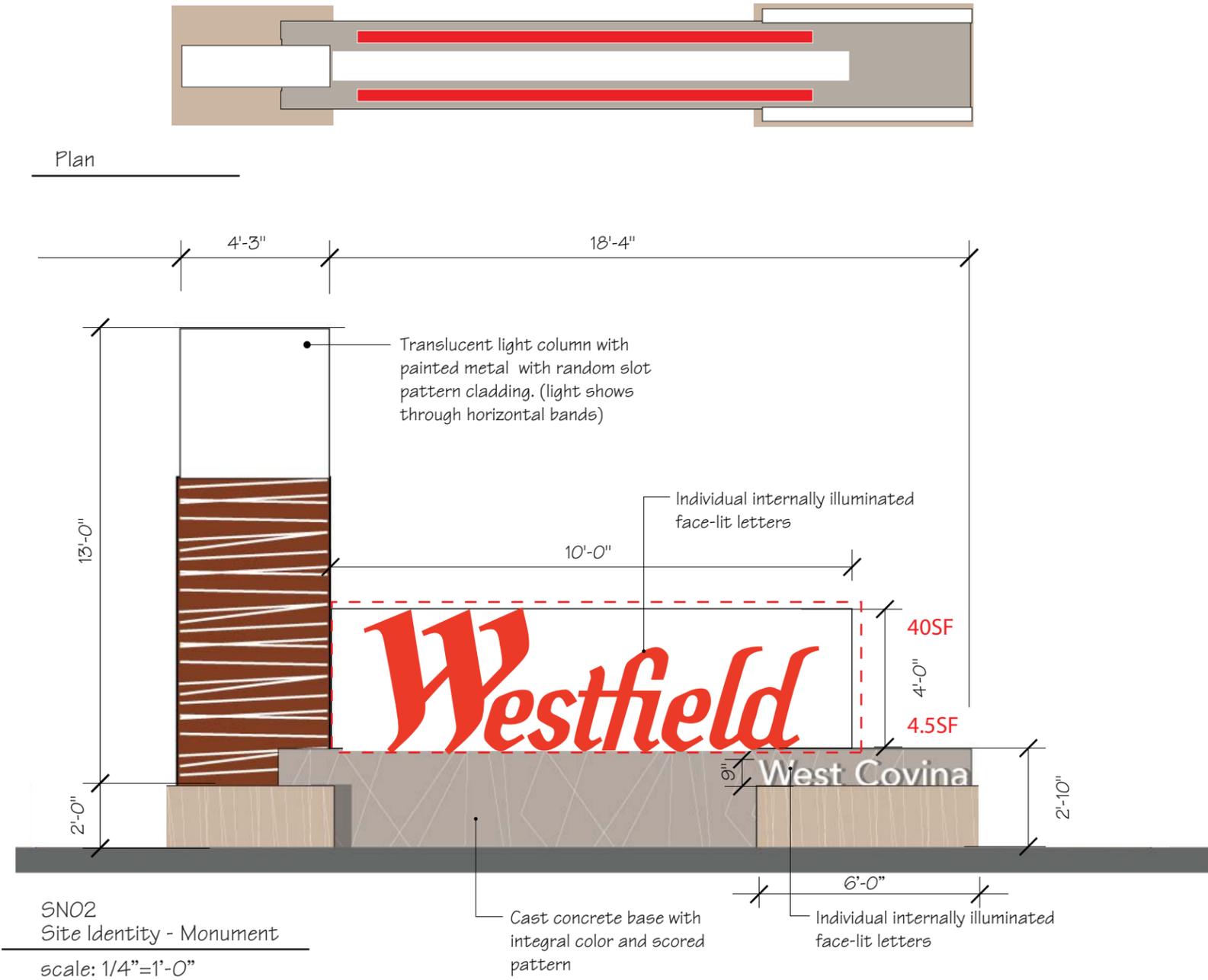
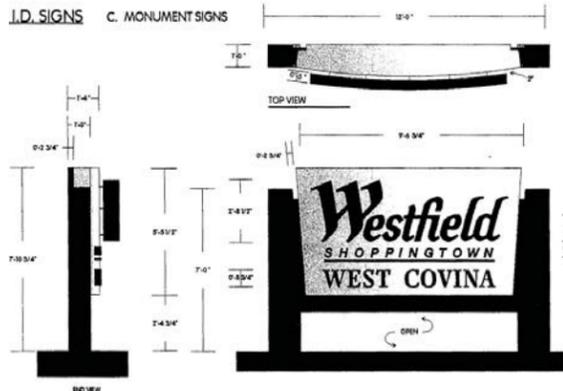
EXISTING SIGN

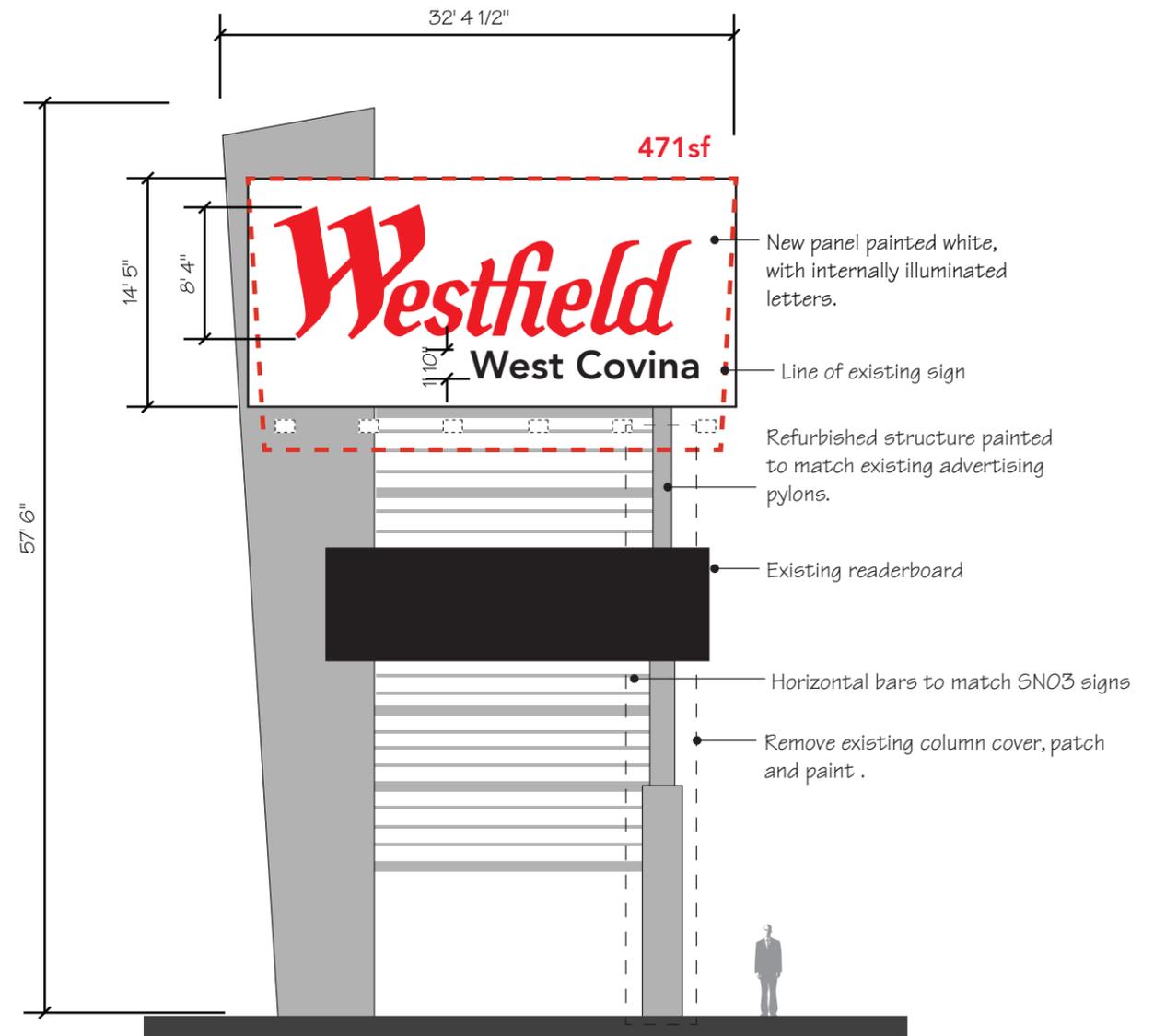
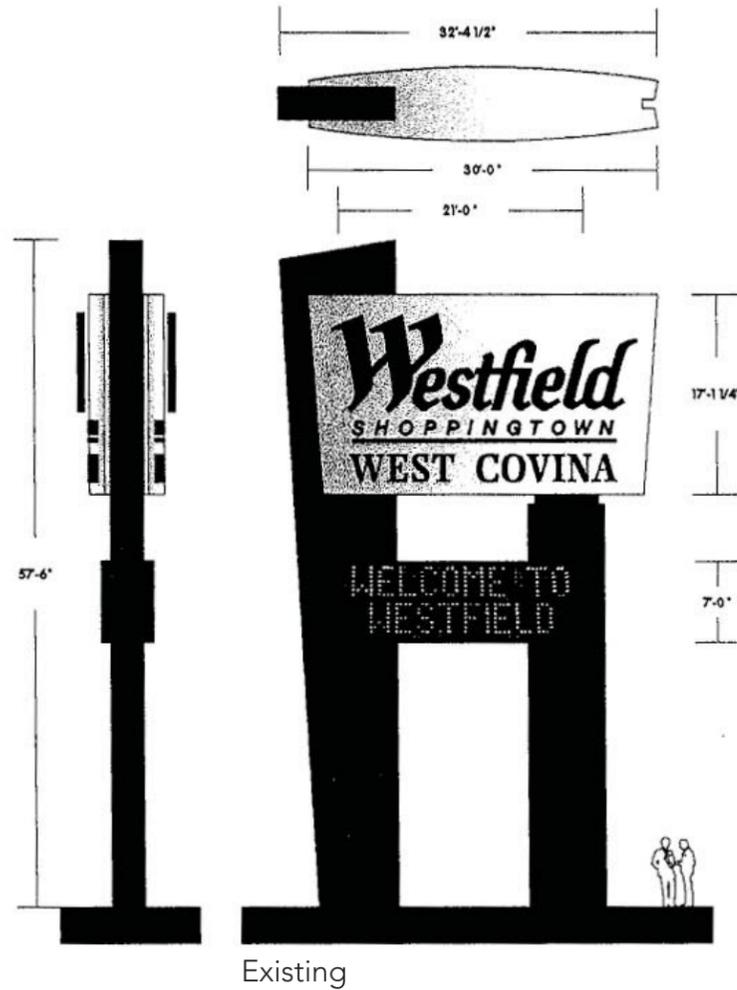
PROPOSED NEW SIGN

SN02



SN02
Site Identity - Monument
Quantity - 5





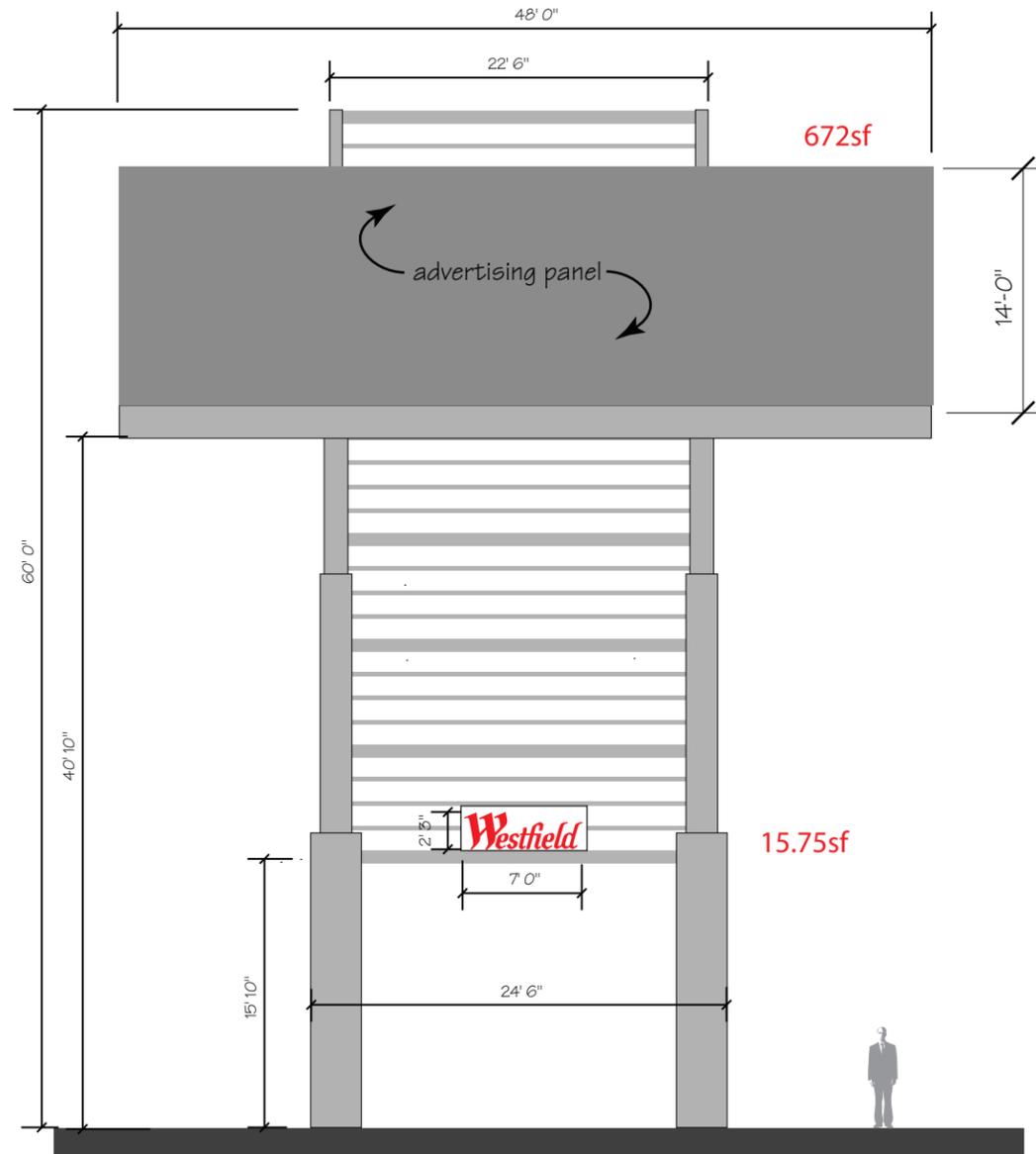
101 SNO4/01: Refurbished Pylon
scale: 3/32"=1'-0"

EXISTING SIGNS

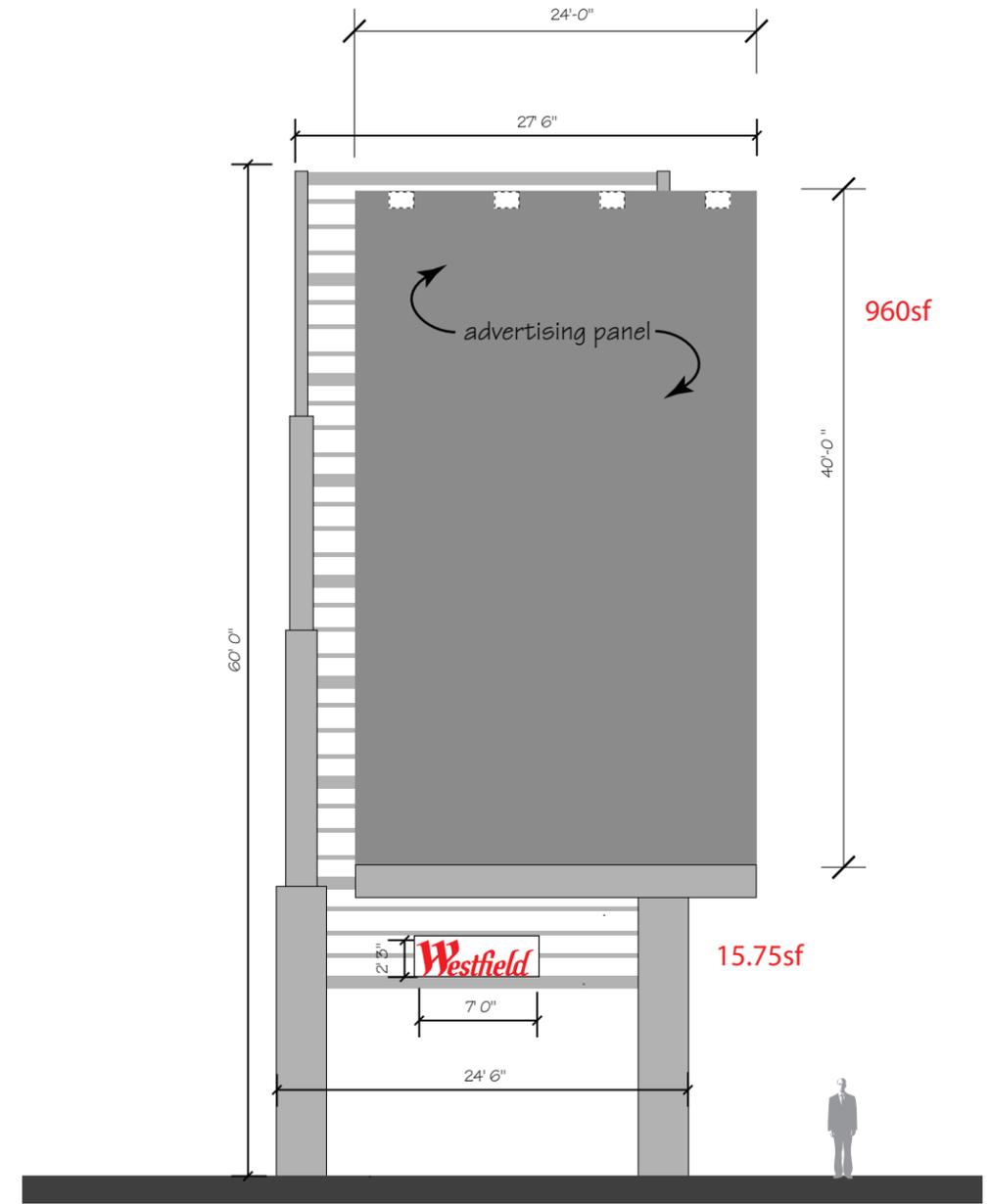


SN03

EXISTING SIGNS



1 Elevation: Center ID (Horizontal) SNO3/04
Scale: 3/32"=1' 0"



2 Elevation: Proposed Center ID (Vertical) SNO3/02 SNO3/03
Scale: 3/32"=1' 0"

EXISTING SIGN

SD01

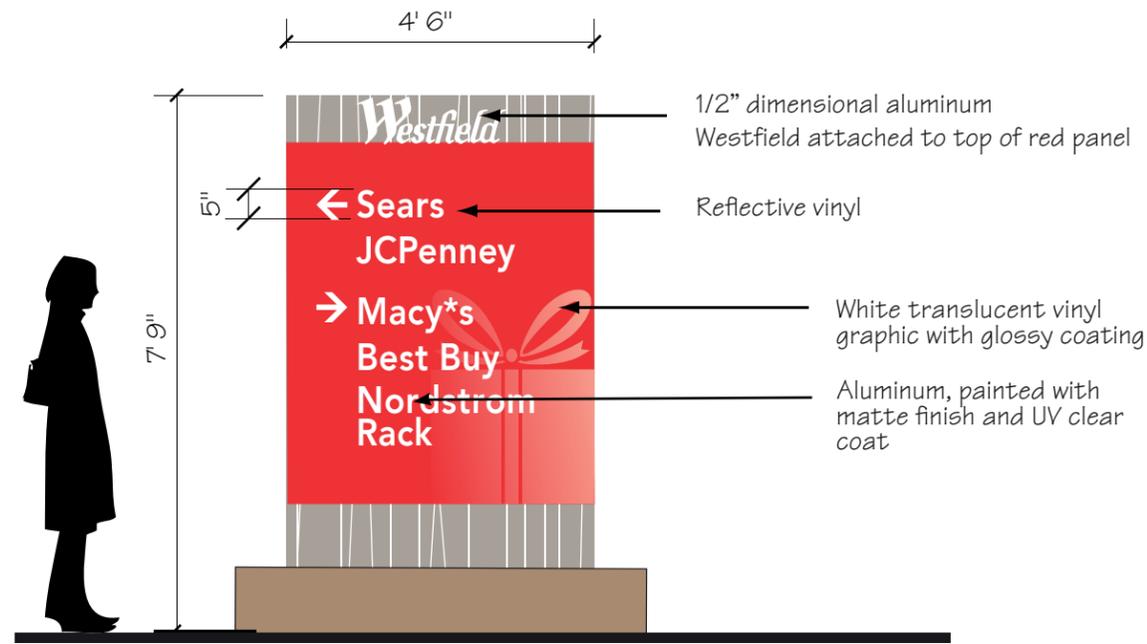
EXISTING

SD02

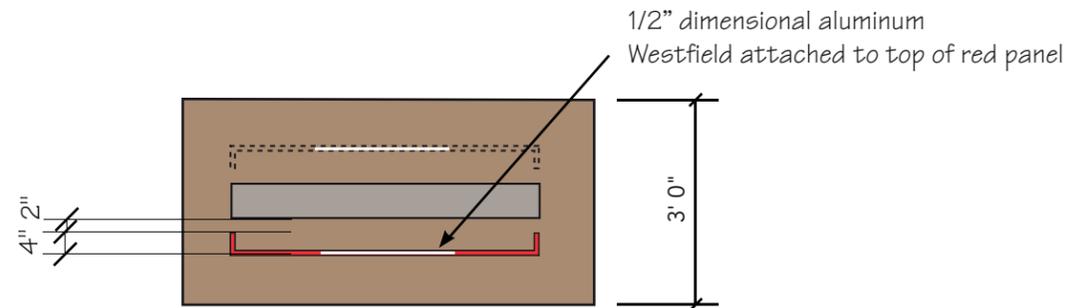


SD01
Site Directional - Anchors
Quantity - 5

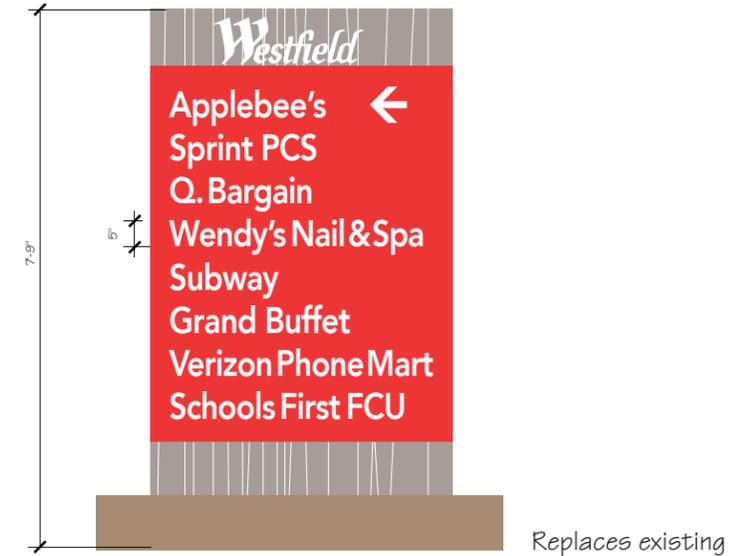
Height: 6'-6"
Width: 4'-3 1/4"



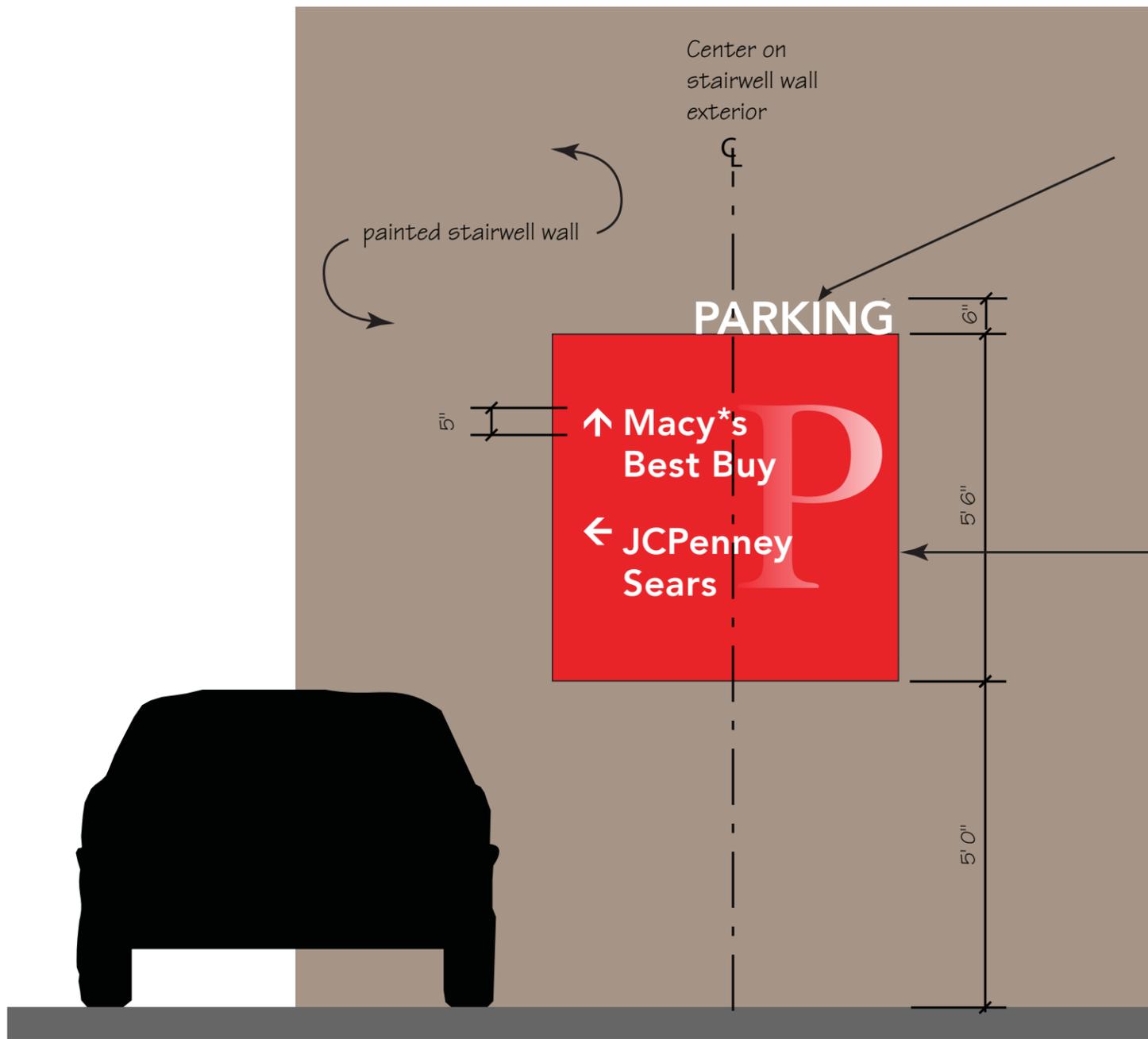
1 Elevation: (SD01) Site Directional, Freestanding
Scale: 3/8" = 1'-0"



2 Plan: (SD01) Site Directional, anchors (typ)
Scale: 3/8" = 1'-0"



3 Elevation: (SD02) Site Directional, Freestanding @ Out
Scale: 3/8" = 1'-0"



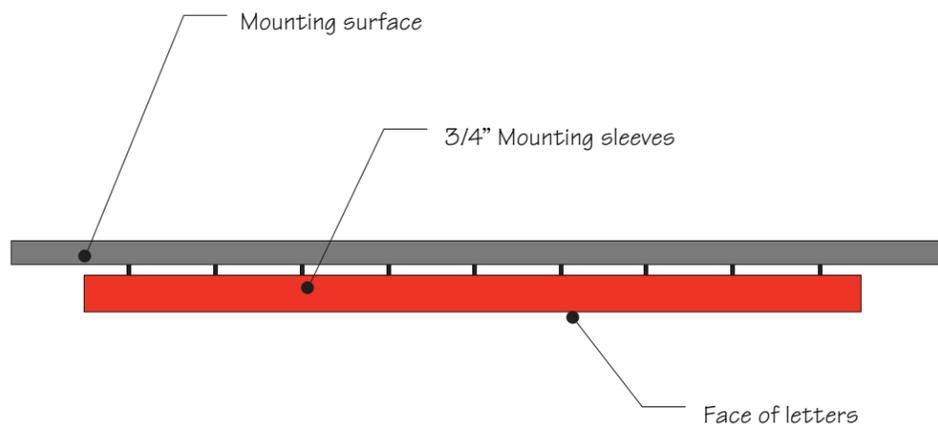
1/2" dimensional aluminum letters with finished returns

Aluminum panel with 5" returns, painted, and with vinyl die-cut reflective letters and UV clear coat.



2 Plan: (SD05) Site Directional, walls (typ)
Scale: 3/8" = 1'-0"

1 Elevation: (SD05) Site Directional, walls (typ)
Scale: 3/8" = 1'-0"



Plan

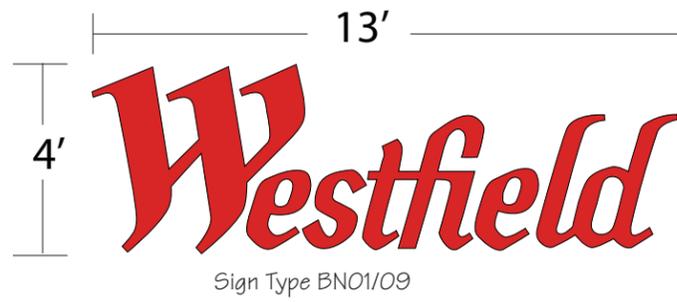


Standard internally illuminated channel letter construction with Matthews satin acrylic polyurethane finish on returns. Returns to match Akzo red #409-D4. Face to be white acrylic with LT Tomato Red 36 30-43 translucent vinyl applied to face. Paint exposed hardware to match building color behind letters.

Existing Illuminated Signs:

	B	A
102	13'-0"	23'-0"
103	8'-9"	18'-0"
104	4'-10"	8'-6"
108	4'-10"	8'-6"
113	4'-10"	8'-6"
119	6'-6"	13'-6"

Internally - illuminated
channel letters, face-lit
and with enclosed backs



Internally-illuminated
channel letters, face-lit
and with enclosed backs





East Entry



East Entry/Lower Level

Internally illuminated face-lit letters



PN01/01; PN01/02: Parking Deck Entries
scale: 1/4"=1'-0"



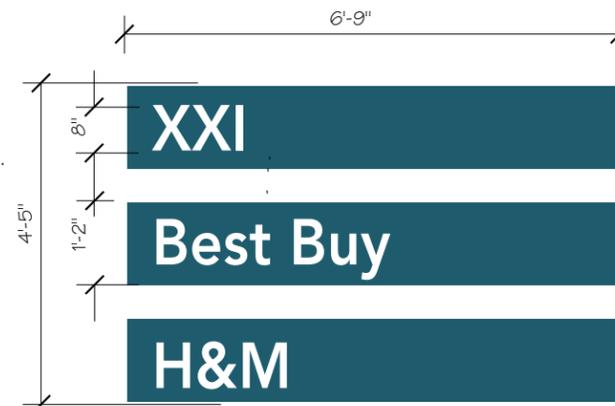
West Entry



PT01/04: Multi-tenant Sign at East Entry
Below bridge

Tenant names to be finalized

1/2" thick 8" tall, white dimensional letters applied to fabricated panels 2" thick, painted.



PT01/02: Multi-tenant Sign at East Entry



PT01/01: Multi-tenant Sign at West Entry
scale: 1/2"=1'-0"