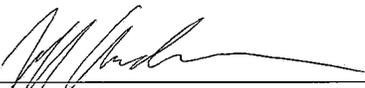


Eastland Sign Program

January 2, 2013

The Eastland Sign Program was adopted in 1997 in accordance with Variance No. 1014 and Variance No. 1022. There have been many tenant changes and exterior modifications since that time. Due to the changes, staff consulted with Scott Nichols and Arnold Glasman of the City Attorney's office. For tenant spaces that remain in the same configuration as indicated on page 13 of the sign program, the wall sign standards of the sign program remain in effect. For tenant spaces that have been subdivided into smaller spaces and are no longer consistent with the sign program, wall signage shall be based upon the West Covina Municipal Code.



Jeff Anderson
Planning Director

TENANT SIGNAGE PROGRAM



A DEVELOPMENT OF
WESTFIELD DEVELOPMENT INC.
LOS ANGELES, CALIFORNIA

Eastland

West Covina

2649 EWORKMAN AVE. WEST COVINA CA. 91790 T - 818-915-5396

REVISED JULY 22, 1999

JUN 28 '97

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20	DIRECTORY



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REMARKS

EASTLAND CENTER TENANT SIGN PROGRAM

**SECTION I
INTRODUCTION**

The purpose of this sign program is to ensure the design and production of quality signage which reflects the integrity of the architecture and the intent of the landlord and the City of West Covina for this center. This sign program has been developed to communicate the particular parameters each tenant is to follow so their individual store signage will be effective and also compliment the project as a whole. Performance will be strictly enforced and any non-conforming signs will be removed by the owner within sixty (60) days at the tenant's sole expense.

DESIGN DIRECTION

Tenant signs are encouraged to be designed and produced in a fashion which exceeds the quality and the aesthetic impact of most shopping center tenant signs. Within the context of the sign program, innovative use of materials, fabrication techniques, typography, and color are encouraged in an effort to create an exciting and unique graphic atmosphere which will add to the shopping experience of this center. In some cases signs become architectural features.

This sign program has been written in sections with numbered articles for easy reference. Each tenant and their sign contractor is to read Section I to Section XII. Section V to XII deals with specific sign types and related design drawings contained within this sign program. For those sign types which are to be employed by any given tenant, the section relating to each sign type must be reviewed and addressed by each tenant and their sign contractor.

The program establishes minimum and maximum letter sizes, sign area allowances, and locations for each sign type which is subject to the sole discretionary approval of the landlord, City of West Covina, and West Covina Redevelopment Agency, within the context of this sign program

**SECTION II
APPROVAL PROCEDURE**

Tenant shall first submit to landlord through the tenant's sign company for approval before fabrication, three (3) copies (one in color) of detailed drawings indicating the location, size, layout, design and color of the proposed sign, including all the lettering and/or logo, prior to submitting to the City of West Covina for review, approval and permit. Once approved by the landlord, three (3) sets of plans shall be then submitted to the City of West Covina Planning Dept. for review, and approval prior to submittal to the Building and Engineering Dept. for issuance of permits.

All permits for signs and their installation shall be obtained by tenant or its representative prior to the installation. Tenant shall be responsible for submitting its sign drawing to the appropriate city agency for its permits and approval.

A dated signature of approval by the landlord will be placed on each sign working drawing prior to submittal to the City of West Covina for a building permit.

Above mentioned approval procedure must be accomplished by tenant or its representative prior to any installation.

**SECTION III
SIGN TYPE SCHEDULE**

SIGN #	SIGN TYPE	SHEET #
1	Tower Element	3
2	37 ft. Pylon Signage	5
3	48 ft. Primary Entry Monument	6
4	6.5 ft. Single Pad Tenant	8
5	Vehicle Directional	9
6	Parking Code Entry Sign	10
7	Handicap Stall Sign	11
8	Stop Sign	12
9	Major Tenant I.D.	13
10	Shop Tenant I.D.	13
11	Pad Tenant I.D.	15a
12	Undercanopy Tenant I.D.	16
13	Store Number	18
14	Tenant Entry Information Sign	18
15	Delivery I.D.	19
16	Building Address	20
17	Directory	20
18		

REVISIONS

APR 30 1997
MAY 30 1997
JUL 10 1997

This drawing is diagrammatic and shows only approximate conditions, locations, quantities and proposed elements. Identification of any element of specific occupant may be added or deleted at the discretion of the landlord. The tenant shall be responsible for the sole risk and responsibility of the tenant.

INTRODUCTION



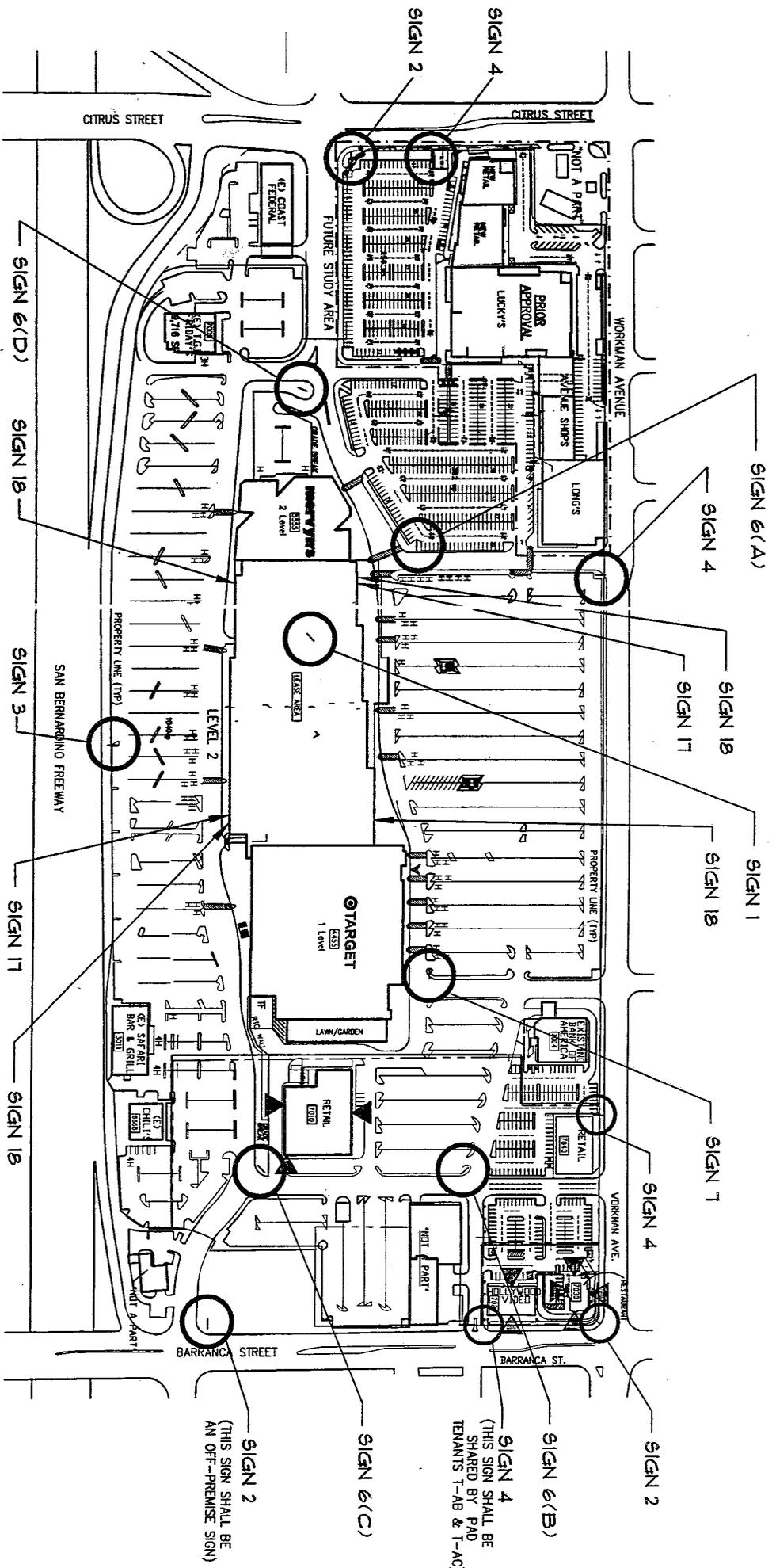
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REMARKS

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APR. 30 1997
MAY 30 1997
JUL. 10 1997

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SIGN DESIGNATION PLAN

LEGEND:

- SIGN 1 TOWER ELEMENT SHEET #3
- SIGN 2 31'-0" PYLON SIGNAGE SHEET #5
- SIGN 3 48'-0" MONUMENT SIGNAGE SHEET #6
- SIGN 4 6.5' SINGLE PAD TENANT SHEET #8
- SIGN 6 VEHICULAR DIRECTIONAL SHEET #9
- SIGN 7 PARKING CODE ENTRY SIGN SHEET #10
- SIGN 11 PAD TENANT ID SIGN SHEET #15B
- SIGN 12 BUILDING ADDRESS SHEET #20
- SIGN 18 DIRECTORY SHEET #20

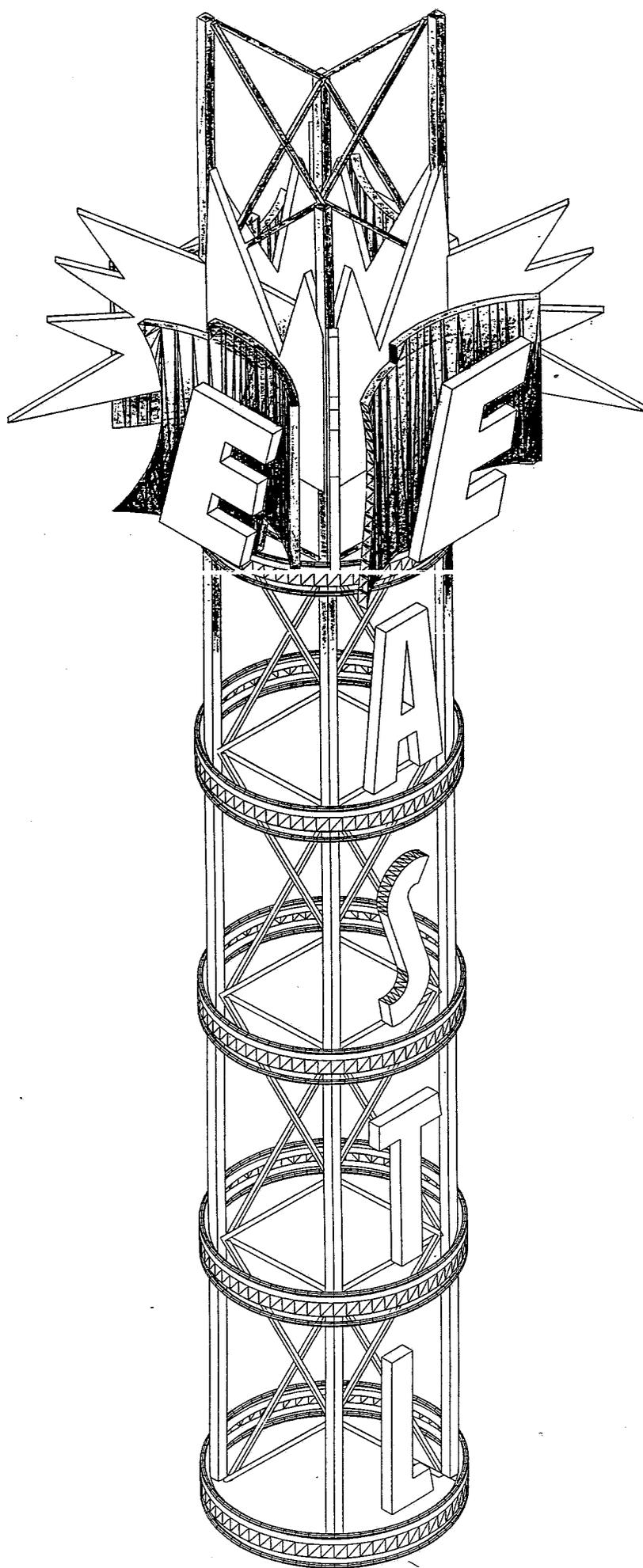
SITE PLAN

2

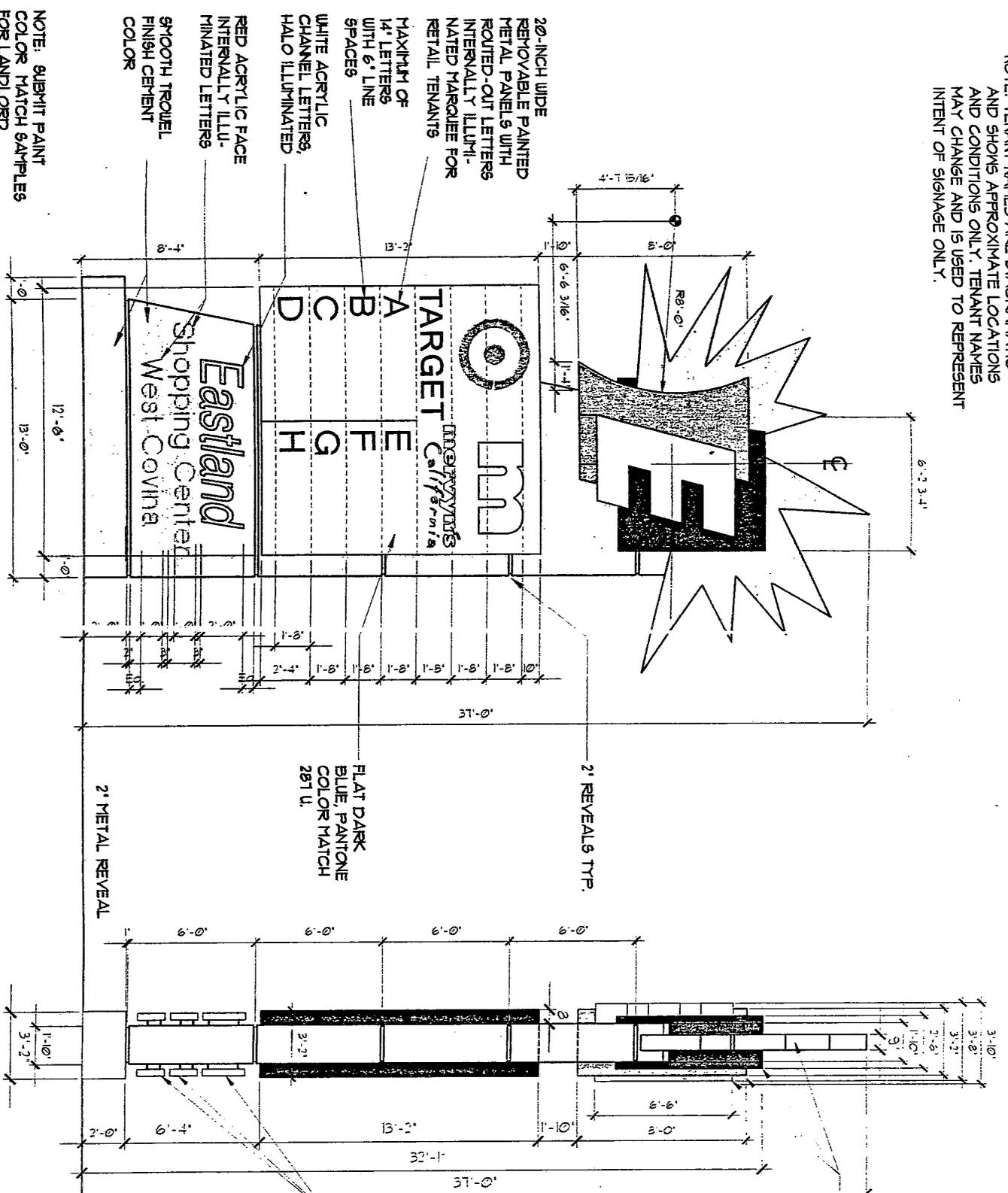


West Covina

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NOTE: TENANT NAMES ARE DIAGRAMATIC AND SHOWS APPROXIMATE LOCATIONS AND CONDITIONS ONLY. TENANT NAMES MAY CHANGE AND IS USED TO REPRESENT INTENT OF SIGNAGE ONLY.



ELEMENTS ARE INTERNALLY ILLUMINATED, DOUBLE FACED, ALUMINUM CABINETS WITH ACRYLIC FACES.

ILLUMINATED CHANNEL LETTERS FROM ALUMINUM WITH ACRYLIC FACES AND CLEAR FLEX BACKING, PEGGED FROM WALL TO PRODUCE A HALO EFFECT.

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This drawing is diagrammatic and shows only approximate sizes and proportions. The size, location, existence or identity of any element or space occupied may be added or deleted by the contractor. Failure to verify actual conditions shall be at the sole risk and responsibility of the tenant.

3/16
 PYLON SIGN

5

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8/14/2010 3:00 PM



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SEC. IV
GEN SIGN CRITERIA

1. Tenant signage shall include only the business name, as registered on the lease agreement, and established logo symbol or nationally recognized trademark.
2. Maintenance of each sign is the responsibility of the tenant who erected and installed it. Letter forms or letter faces which require repair will be replaced or repaired within thirty (30) days of damage or notice from landlord. If the signage is not rectified within thirty (30) day period, the landlord will immediately repair the sign at the tenant's expense.
3. Signs will be free of all labels and manufacturer's advertising with the exception of code requirements.
4. Roof mounted signs will not be allowed. Roof mounted signage will not be allowed, however, signage located on architectural elements projecting out from the main building may have portions of that sign that projects above the top of that element as long as the main building facade acts as a backdrop.
5. No sign will be painted directly onto a wall or surface of any building.
6. Banners, pennants, or temporary signs may not be displayed on any building or in the parking area, and temporary signs may not be placed on the inside surface of any window or hung closer than three feet (3') behind the inside window without prior approval of the landlord, and in compliance with the City of West Covina signage standards.
7. Cooperative tenant seasonal promotion signage will be permitted only upon review and approval of the landlord, the City of West Covina, and West Covina Redevelopment Agency.
8. Tenant signs must be visually appropriate, well proportioned, creatively designed on the tenants' designated sign area, and approved by the landlord, City of West Covina and West Covina Redevelopment Agency.
9. The tenant will be fully responsible for the operation of his sign contractor and will indemnify, defend and hold harmless the landlord and their agents from damages or liabilities resulting from the tenant contractor's work.
10. Tenant shall immediately remove all signs representing a discontinued service and/or project within 30 days, if not the landlord within 60 days, shall remove the sign at the tenant's expense.
11. Upon vacation of space by tenant, any damage to the building fascia or sign area will be repaired by tenant, or by the landlord at tenant's expense. Repair work to be completed within a ten (10) day period from date of removal.
12. Motion signs will not be allowed.
13. No text or graphics is permitted on awnings.

7

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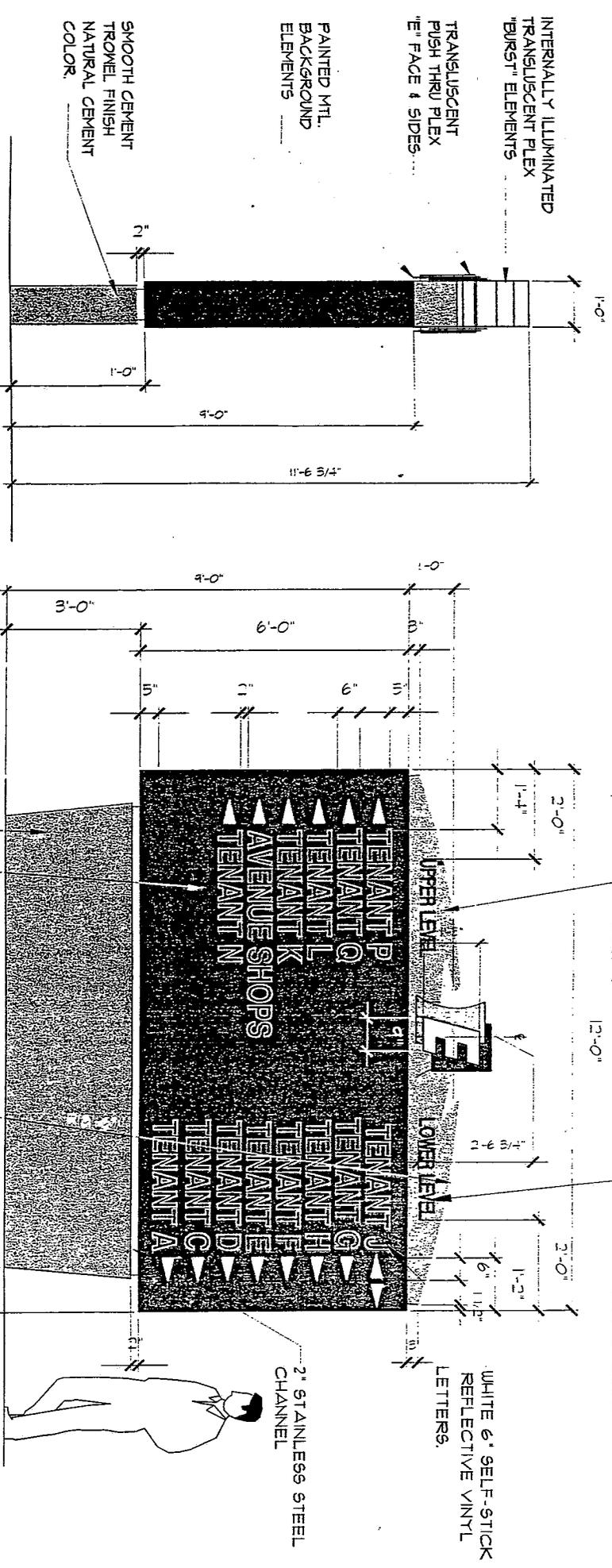
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12th Floor
Los Angeles Ca. 90025

REMARKS

REVISIONS
APR 30 1997
MAY 30 1977

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DIRECTIONAL
SIGN
3/8
9



- NOTES:**
1. SIGNS SHALL BE OF FABRICATED PAINTED ALUM. CABINET ON METAL FRAME, UNLESS NOTED OTHERWISE.
 2. ALL LETTERS ARE TO BE OF SELF-STICK REFLECTIVE VINYL, UNLESS OTHERWISE NOTED.
 3. COLORS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND ARE NOT THE ACTUAL COLORS, PLEASE MATCH WITH PANTONE COLOR SPECIFIER SYSTEM AS INDICATED.

**DIRECTIONAL SIGNAGE
SIGN 6**



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REMARKS

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DIRECTIONAL
SIGNS

1/4

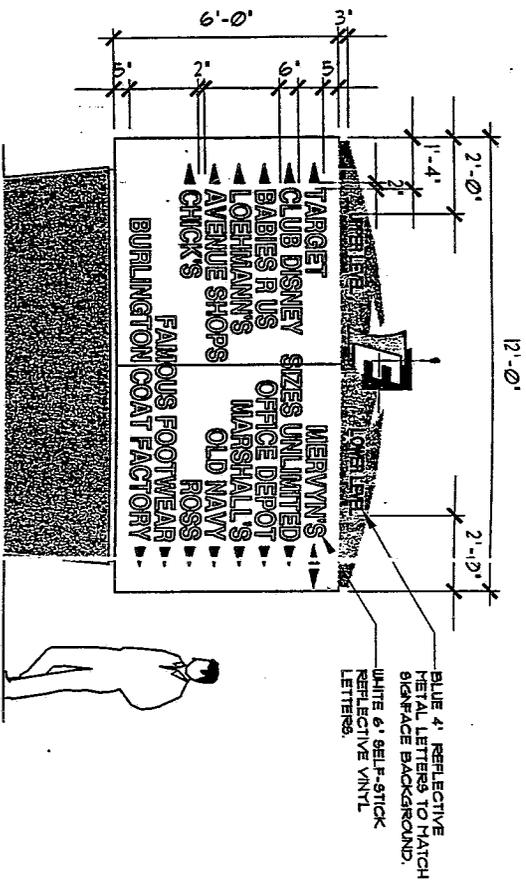
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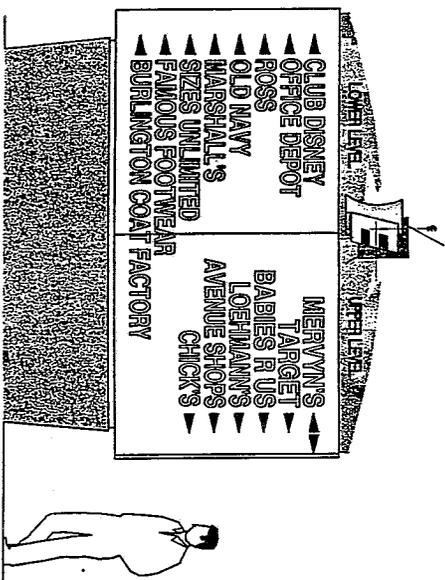
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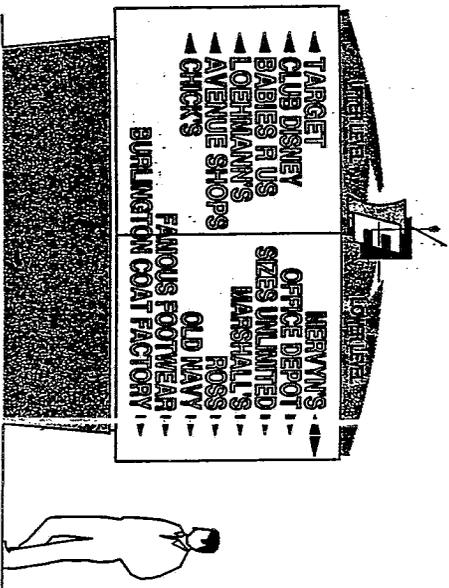
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GA



GB



GD

DIRECTIONAL SIGNAGE
SIGN 6



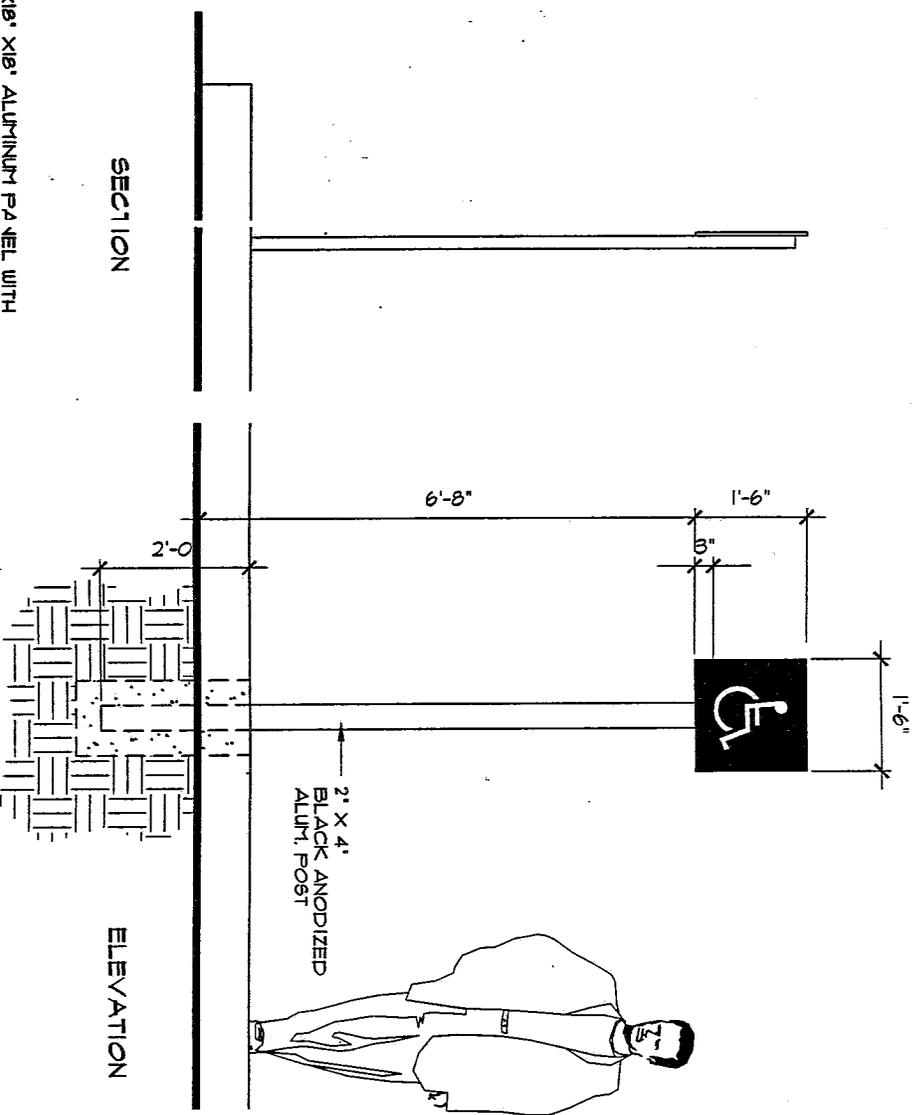
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REVISIONS

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DESCRIPTION:
HANDICAP STALL SIGN 1/2" X 1/2" X 1/2" ALUMINUM PANEL WITH STANDARD WHITE SYMBOL ON DARK BLUE BACK, ROUND, 2" X 4" ALUMINUM POST. BACK OF SIGN PAINTED BLACK, THE SAME COLOR AS THE POST.

HANDICAP STALL SIGN
SCALE 1/2" = 1'-0"

SIGN 8

1/2

11

**HANDICAP
STALL SIGN**

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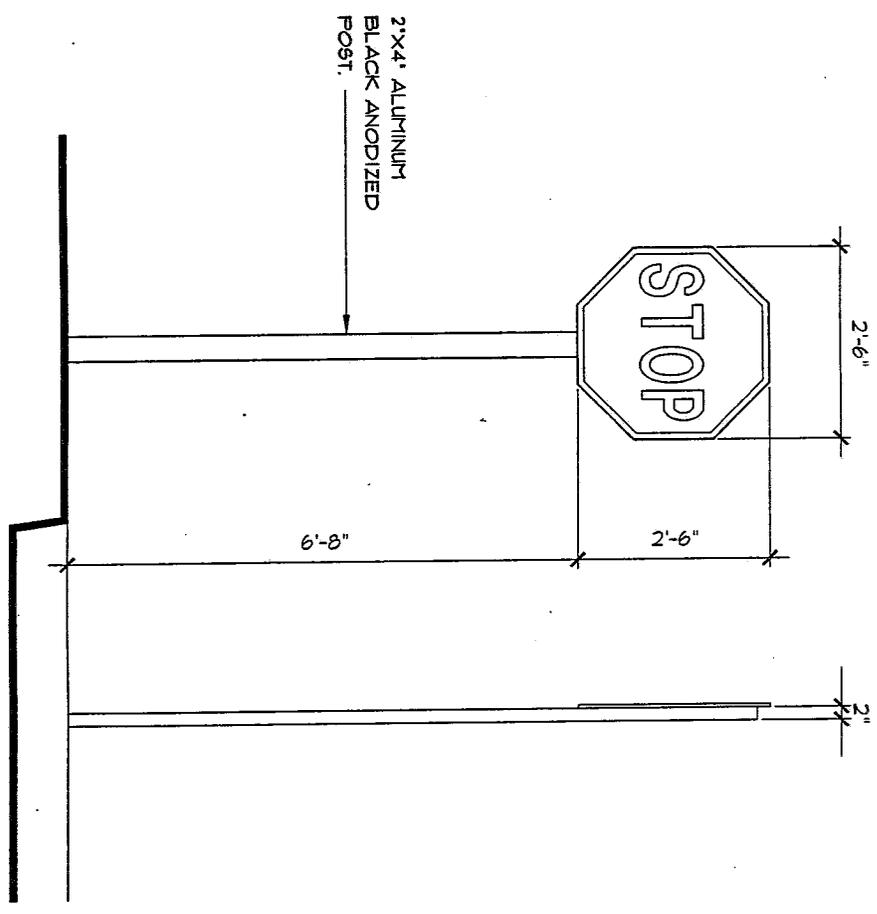


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REMARKS

REVISIONS

This drawing is allegoramic and does not represent actual conditions. Locations, quantities and proposed elements, the size, location, existence or absence of any element, may be altered without notice by the sole and absolute discretion of the landowner. Failure to verify actual conditions shall be at the tenant's and responsibility of the tenant.



DESCRIPTION:
STANDARD CAL-TRANS STOP SIGN WITH RED BACKGROUND AND WHITE REFLECTIVE COPY. BACK OF SIGN TO BE PAINTED SAME AS 2'X4' ALUMINUM POST.

FRONT ELEV.
STOP SIGN (#4)
SCALE 1/2"=1'-0"

SIDE ELEV.

STOP SIGN

1/2

12

Eastland

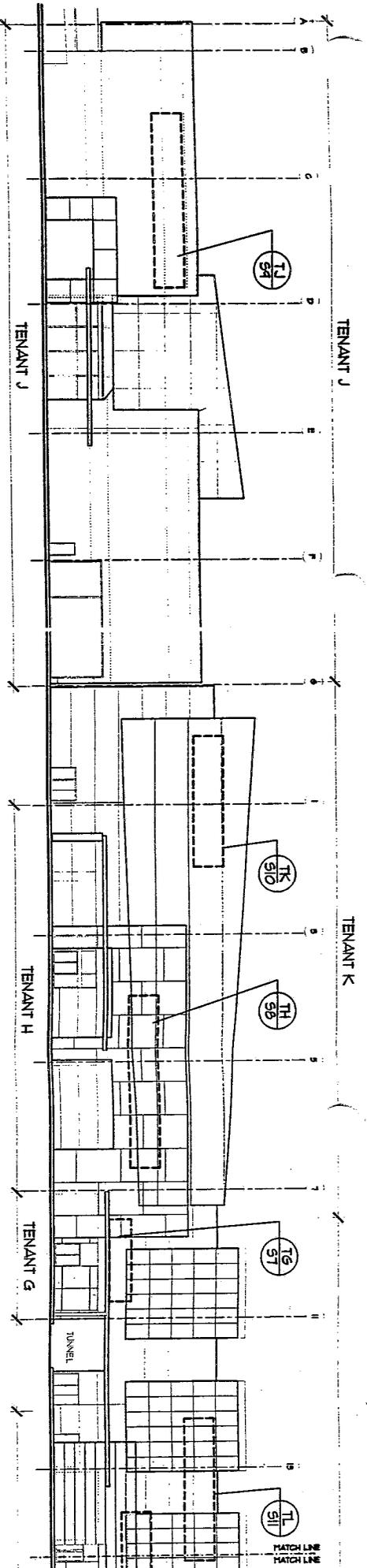
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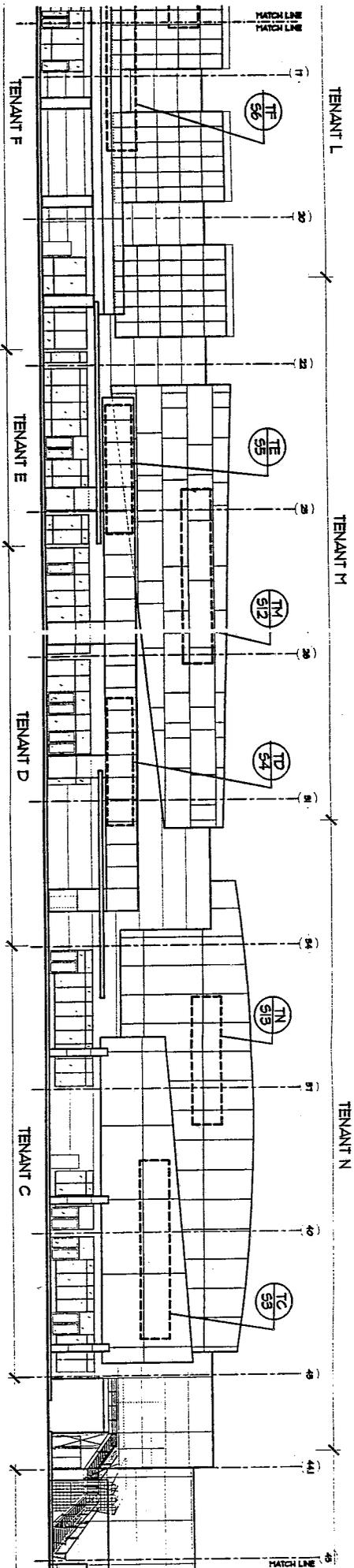
REMARKS



REVISIONS

REV 01 1997
 MAY 30 1997
 JLL 10 1997

This drawing is diagrammatic and allows for appropriate quantities and proposed elements. The size, location, existence or identity of any element or space is not guaranteed. It is the sole and absolute discretion of the landlord. Failure to verify actual conditions shall be at the sole risk and responsibility of the tenant.



NOTE:
 1. MAXIMUM SIGN AREA TO BE DETERMINED BY CHART ON SHEET 13.
 2. BOXES SHOWN ON THIS SHEET REPRESENT GENERAL SIGN LOCATIONS ONLY.

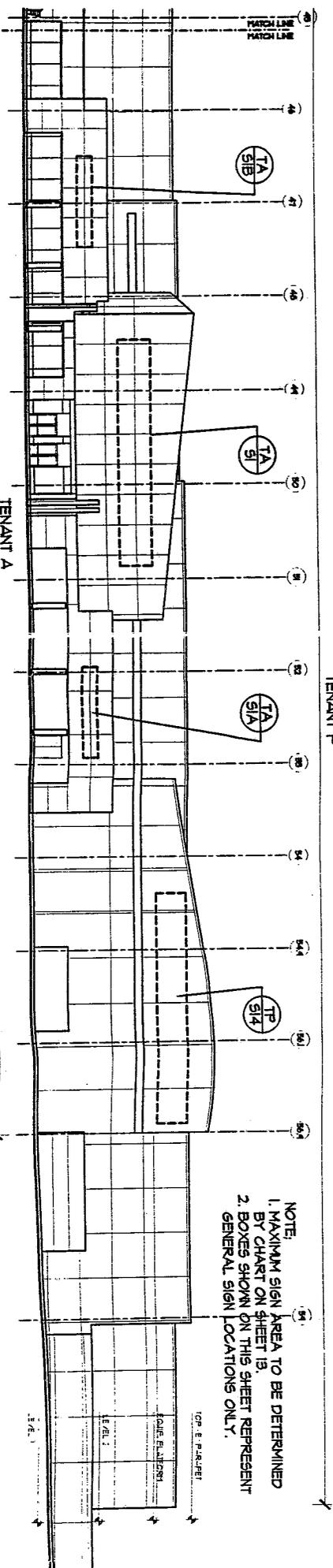
SOUTH ELEV
 STORE ID

1/32

14

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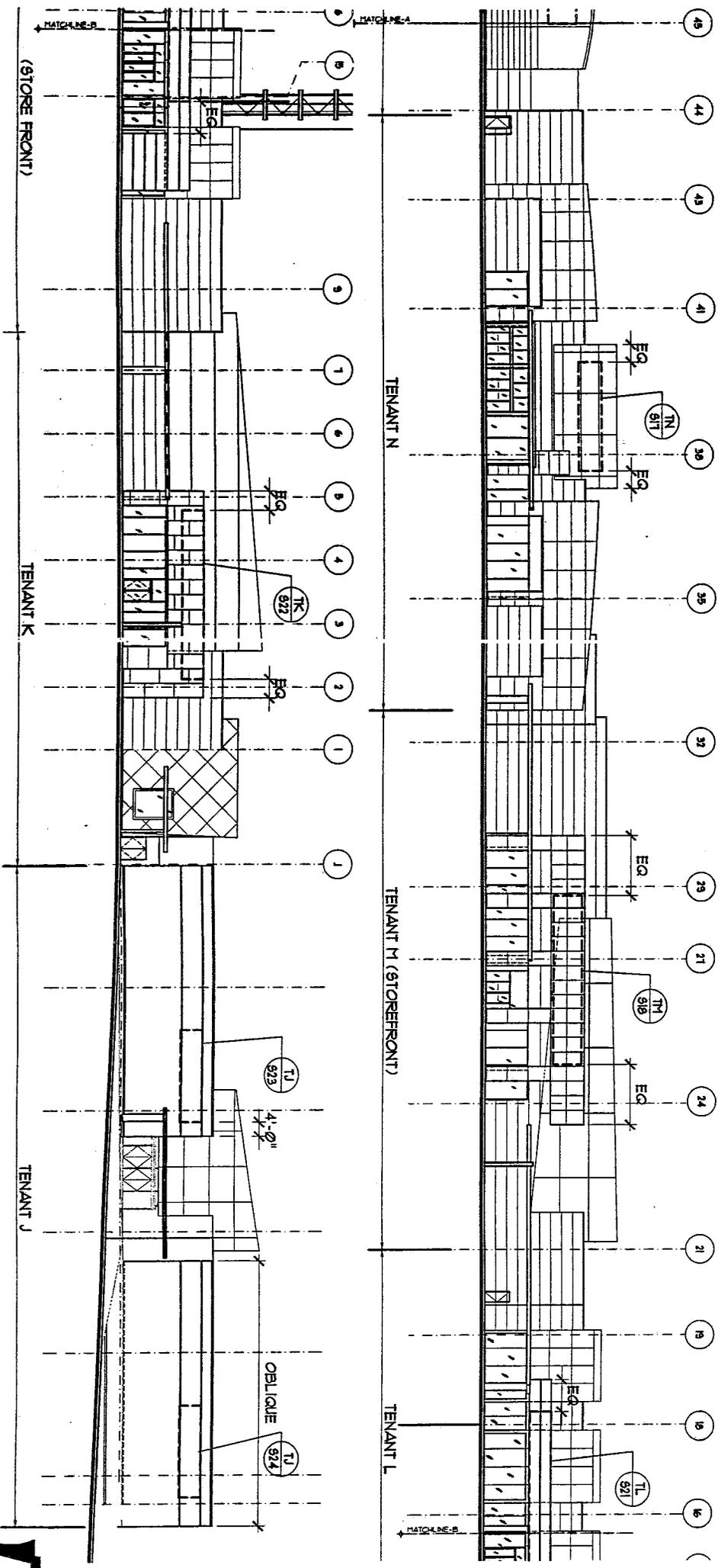
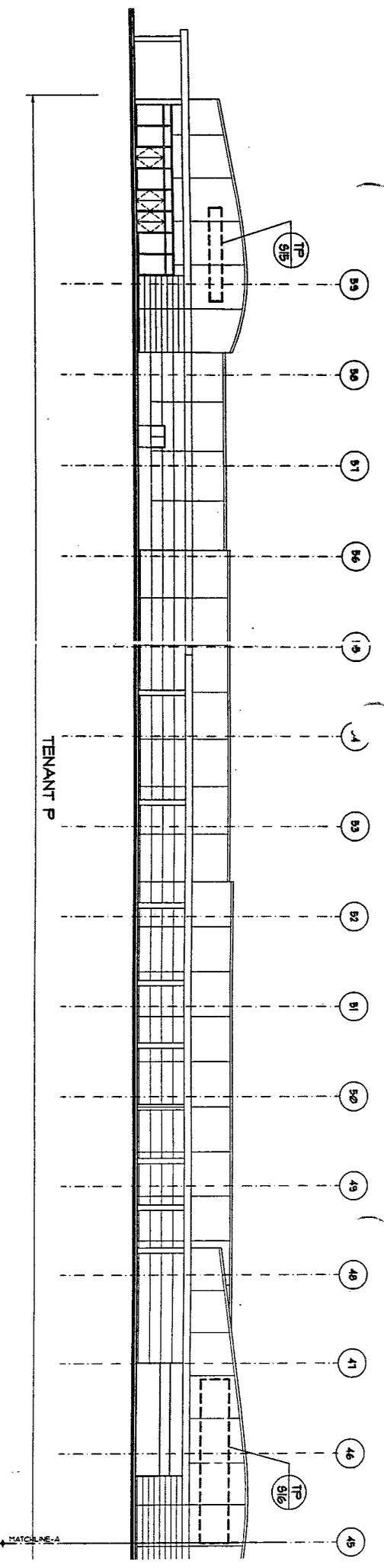
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REMARKS

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NORTH ELEVATION
STORE ID

1/32

15



2449 EWORMAN AVE. WEST COVINA, CA. 91790-1-818/915-5396

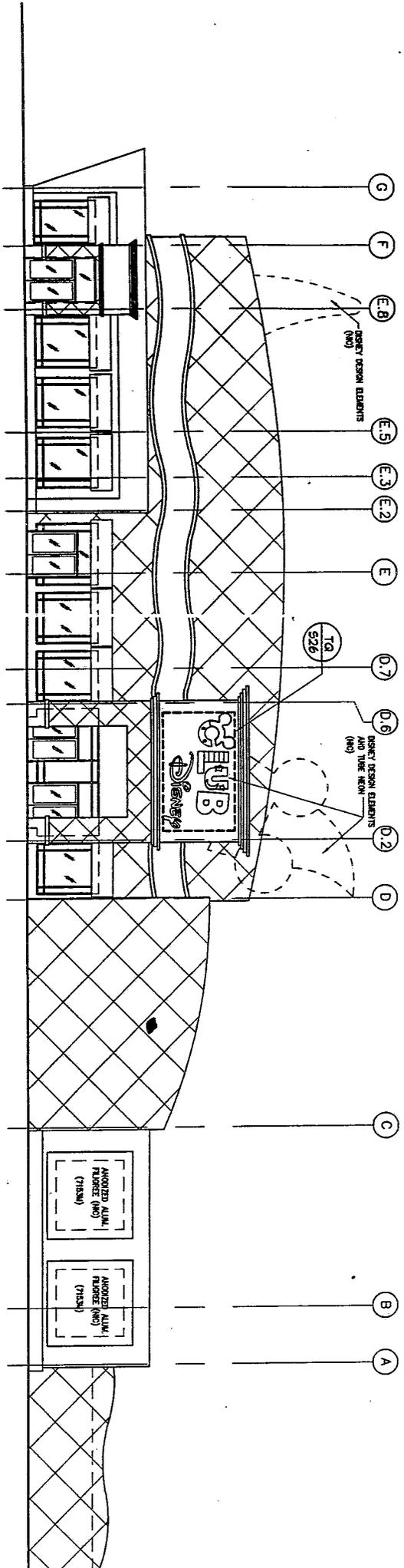
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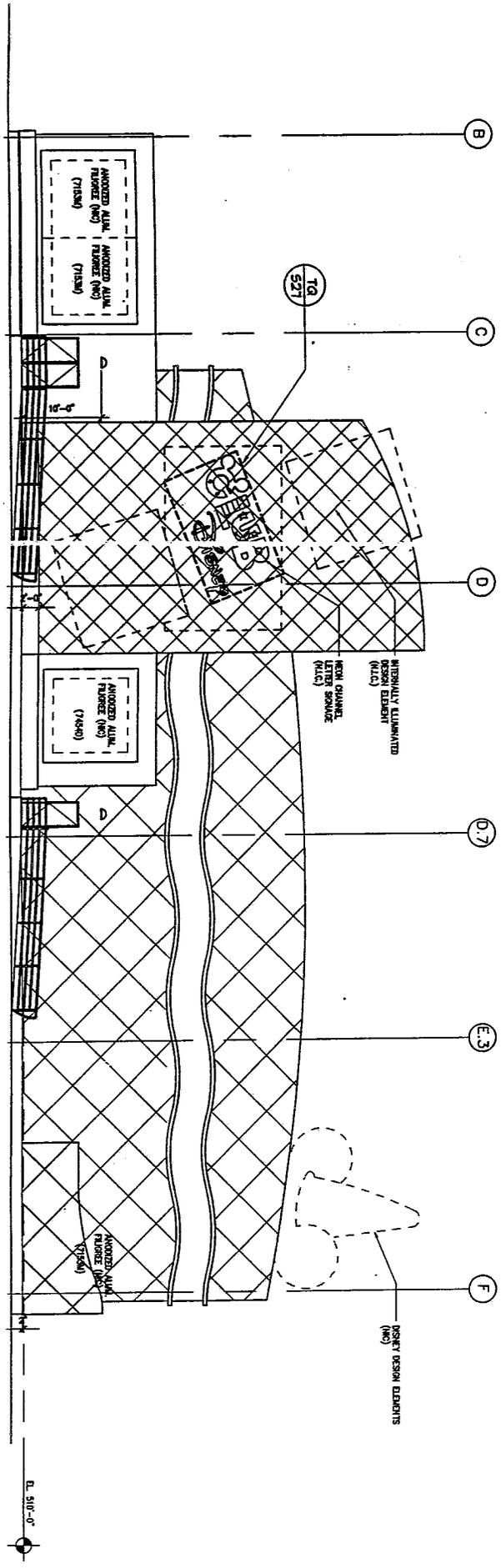
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REMARKS

REVISIONS



NORTH ELEVATION



SOUTH ELEVATION

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PAD TENANT (T-AA)
STORE ID

1/16
15a



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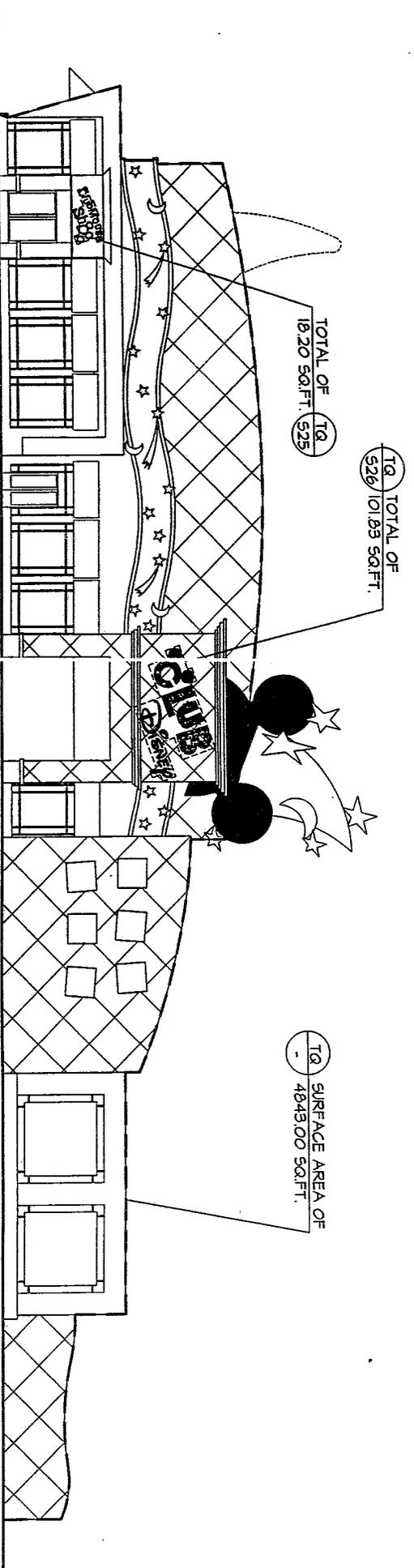
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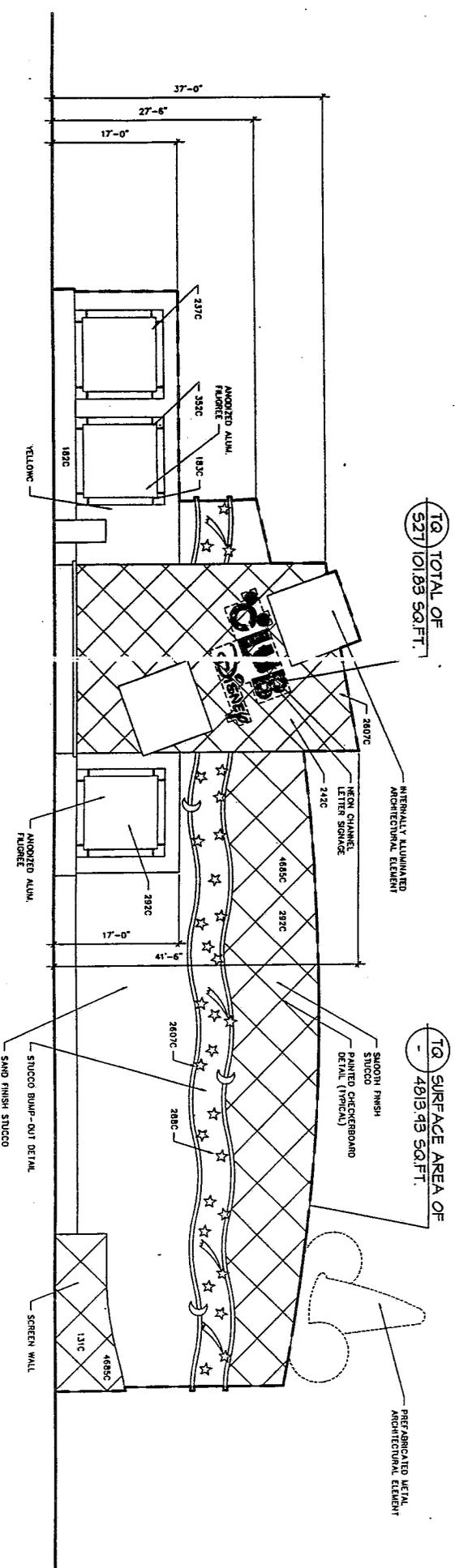
APR 30 1997
MAY 30 1997

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NORTH ELEVATION

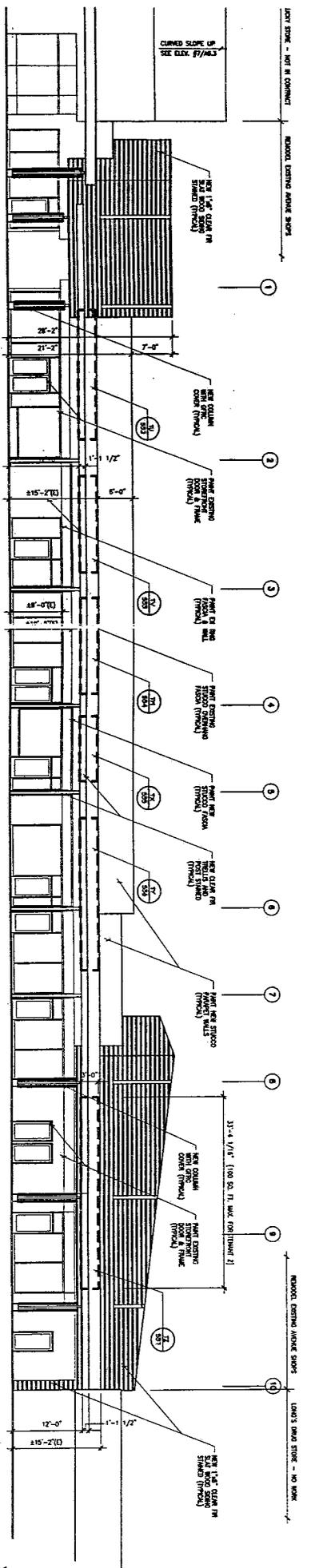
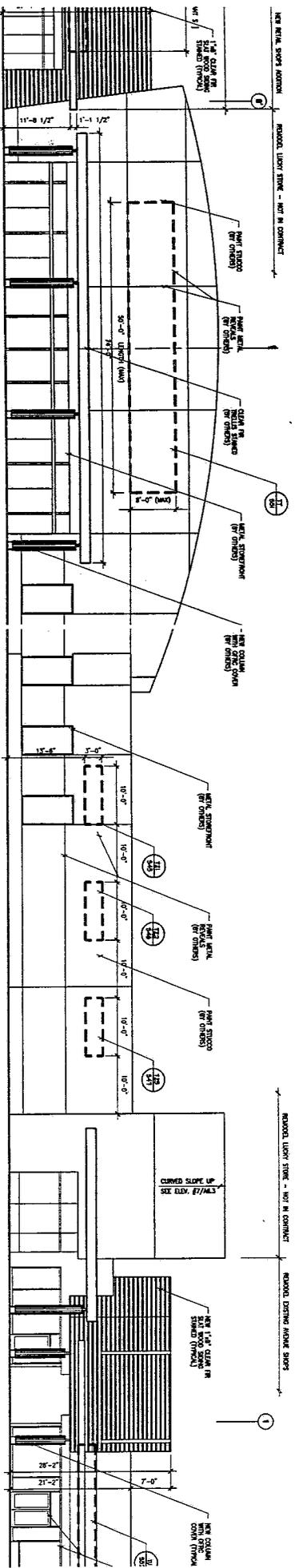
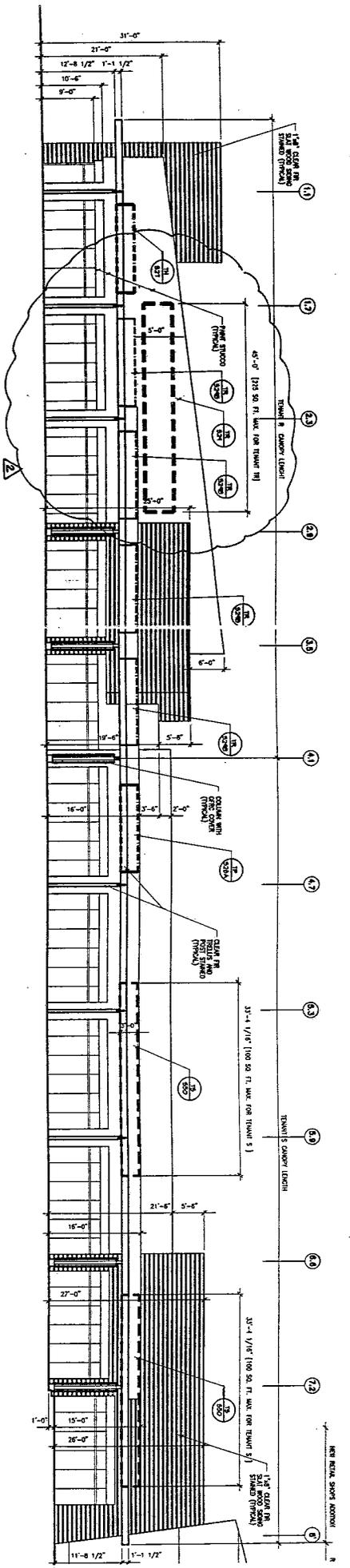
SIGNAGE AREA IS APPROX. 2.5% OF THE ELEVATION AREA



SOUTH ELEVATION

SIGNAGE AREA IS APPROX. 2.1% OF THE ELEVATION AREA

PAD TENANT
STORE ID
1/16
15a



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June 11, 1998
JUN-22-98

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SOUTH ELEV.
AVE. SHOP ID
1/20
15c

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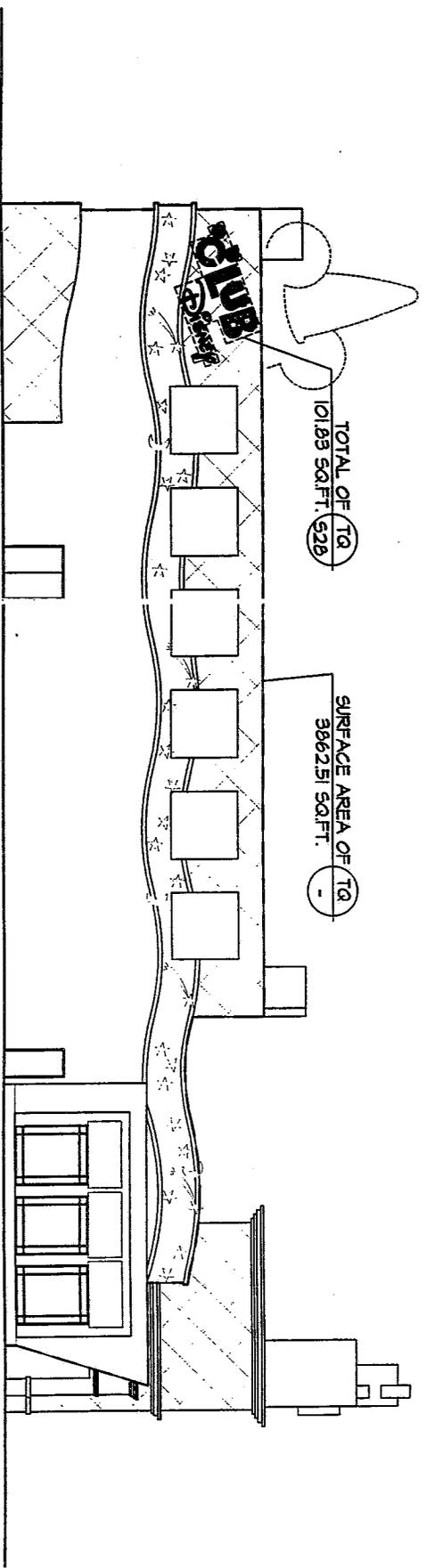


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APR 30 1997
MAY 30 1997
JUL 10 1997

- PAD TENANT I.D. (Sign Type #12)
1. A pad tenant is defined as any tenant occupying a single freestanding pad building.
 2. The maximum allowable letter height is not to exceed thirty-six inches (36") for a single line. Pad tenants may require allowances for larger letter height as a minor exception 42" maximum.
 3. The maximum allowable sign area is not to exceed two (2) square feet per linear foot of frontage to a maximum of one hundred fifty (150 sf) square feet per elevation. The sign area will be calculated by creating a rectangle around the individual letters, then multiplying the length by the height.
 4. Three (3) pad tenant storefront identification signs are allowed per building.
 5. Tenant sign length must not exceed seventy-five percent (75%) of the tenant store frontage.
 6. Signage shall be equally spaced within the architectural feature.
- (Refer to the section "TENANT STOREFRONT I.D. FABRICATION STANDARDS" for the production).



EAST ELEVATION

SIGNAGE IS APPROX. 2.6% OF THE ELEVATION AREA

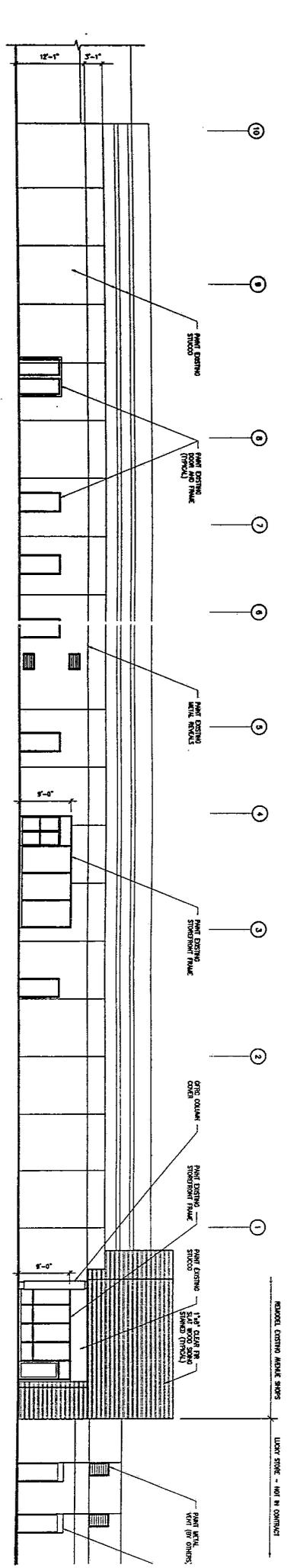
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PAD TENANT (T-AA)
STORE ID
1/16
151b

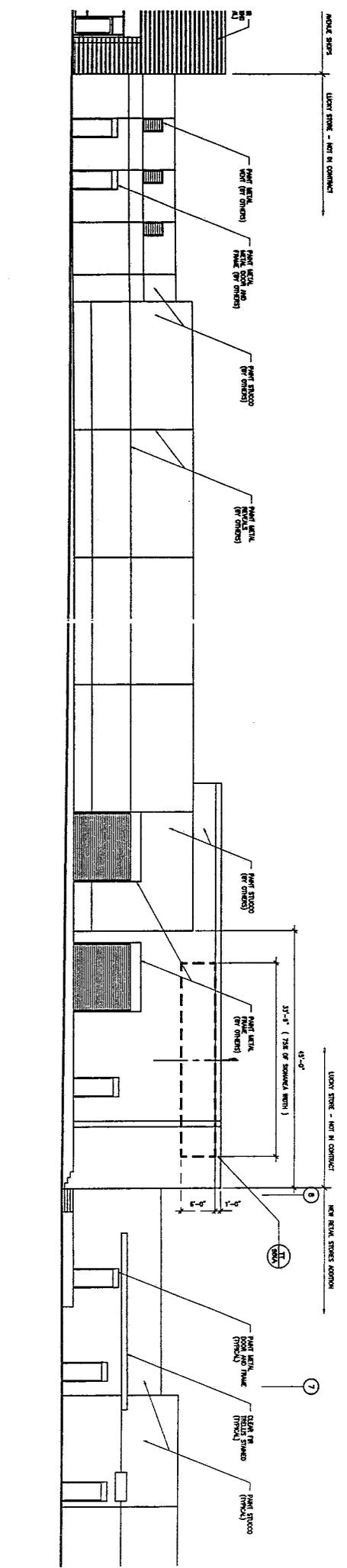


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This drawing is allegorical and shows only approximate dimensions and proposed elements. The size, location, existence or identity of any element of space or structure is subject to the actual conditions of the site and the actual conditions shall be at the sole risk and responsibility of the tenant.

NORTH ELEVATION
 AVE. SHOP ID

1/20

15d



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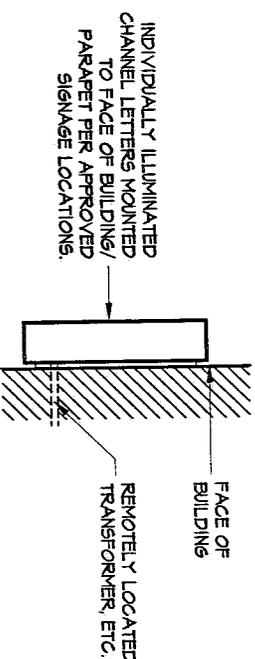
REVISIONS

- ▲ JULY 22, 1998
- ▲ JULY 22, 1999

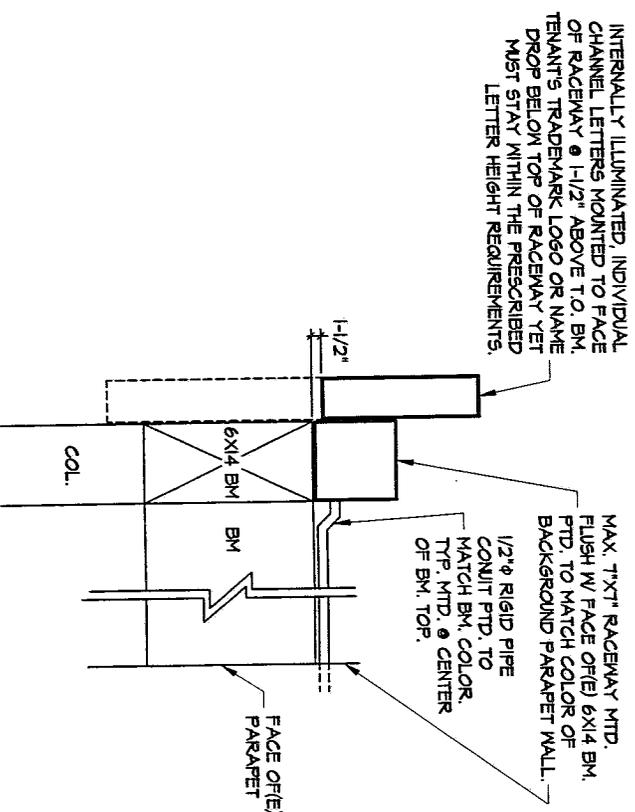
This drawing is diagrammatic and shows only approximate conditions, locations, quantities and proposed elements. The design is preliminary and the identity of any element or specific occupant may be added or deleted at the discretion of the landlord. Failure to verify the sole risk and responsibility of the tenant.

AVENUE SHOPS

1. A shop tenant is defined as any tenant occupying less than 25,000 sf in gross building area.
- ▲ 2. Shop tenant signs at locations TR29, TT, TU, TV, TW, TX, TY, TZ, and TAA are to be individually mounted, internally illuminated, channel letters per Signage Design Drawing A / 15e.1. Shop tenant signs at locations T129b, TN, TP, and TS are to be individual, illuminated channel letters mounted onto an exposed raceway situated on top of the forward beam of the existing trellis per Signage Design Drawing B / 15e.1.
3. Letter height for shop tenants signs are to be a maximum of thirty six (36") including ascenders & descenders.
4. Shop tenants with nationally or regionally recognized logo graphics may use their business identity graphics and colors upon review and approval by the landlord, the City of West Covina, and Redevelopment Agency.
5. The maximum length of shop signs shall not exceed seventy-five percent (75%) of the store frontage width.
6. The sign layout shall be a one (1) line format for storefront identification. Two line format may be considered on a case by case basis but letters on each line shall not exceed thirty six (36") maximum height.
7. If a logo symbol is used on the shop tenant sign, it must be confined within an area two times (2x) the capital letter height in width, and must not exceed the height of the capital letter copy. A registered trademark/logo, without adjacent individual letters, may be included within the calculated sign area provided the allowable sign area for the trademark/logo letters is reduced to thirty-three percent (33%) or less of the allowable area and that the logo may not exceed three feet (3') in any dimension. Logo sign shall also be sized to be in proportion to the building face to which it is attached. This sign is also subject to approval by the landlord, the City of West Covina, and West Covina Redevelopment Agency.



▲ (A) CHANNEL LETTER - WALL MOUNTED DETAIL



▲ (B) CHANNEL LETTER - RACEWAY MOUNTED DETAIL

STOREFRONT ID
CRITERIA

15e.1



West Covina

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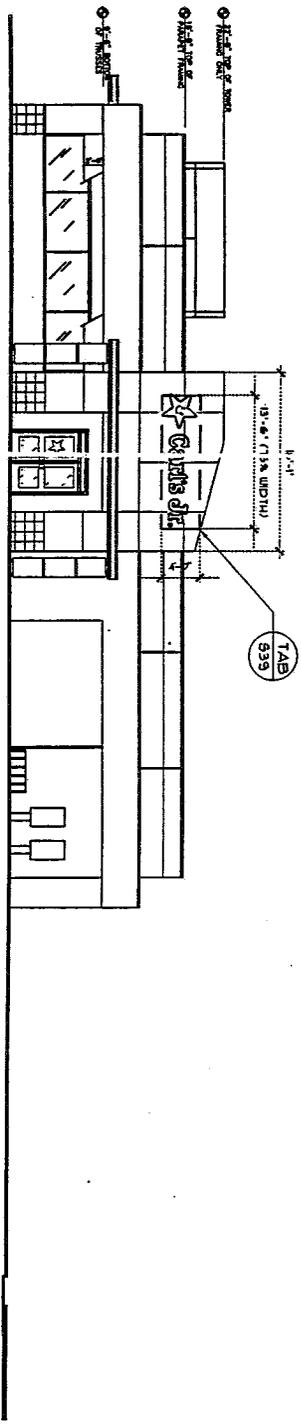
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Los Angeles Ca. 90025

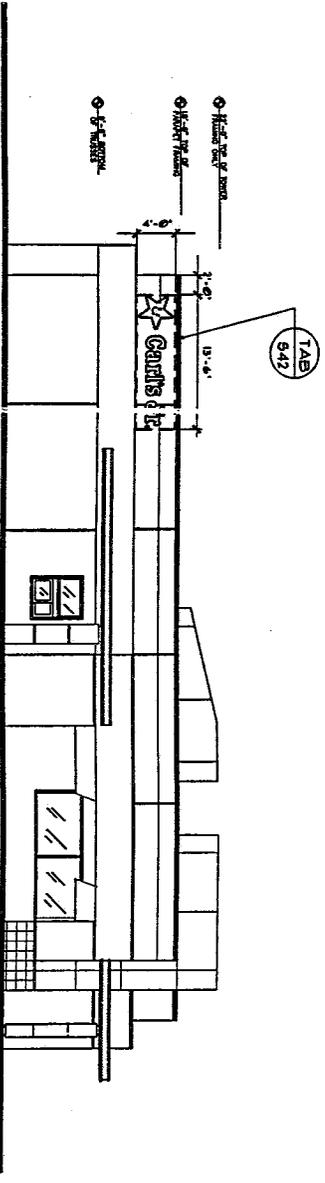
REMARKS

REVISIONS

This drawing is diagrammatic and shows only approximate conditions, locations, quantities, and dimensions. The size, location, existence, identity of any element or specific occupant may be added, deleted, or modified in whole or in part at the discretion of the tenant. The tenant shall be responsible for the actual conditions and shall be of the sole risk and responsibility of the tenant.



CARL'S JR. SOUTH ELEVATION



CARL'S JR. NORTH ELEVATION

PAD TENANT (T-AB)
STORE ID

1/16
15f



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REMARKS

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PAD TENANT (T-AB)
STORE ID

1/16

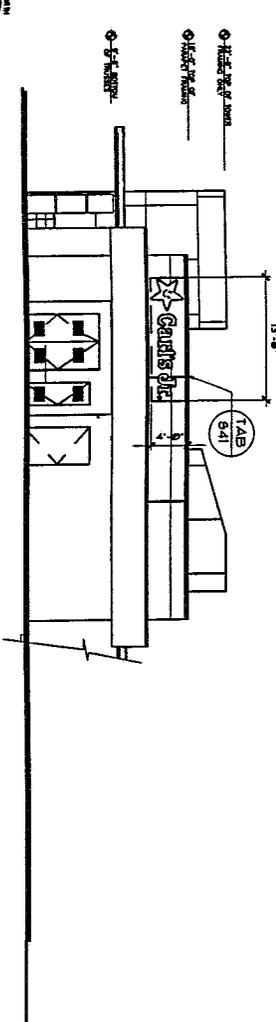
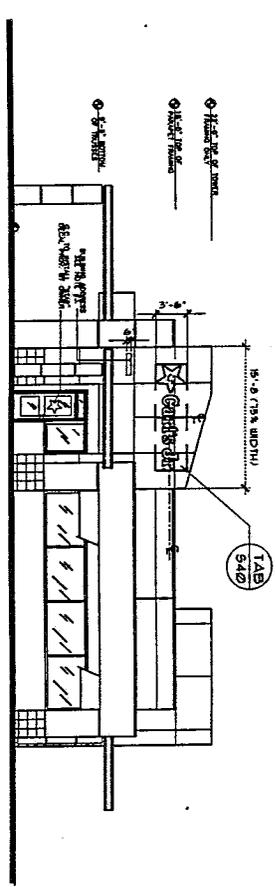
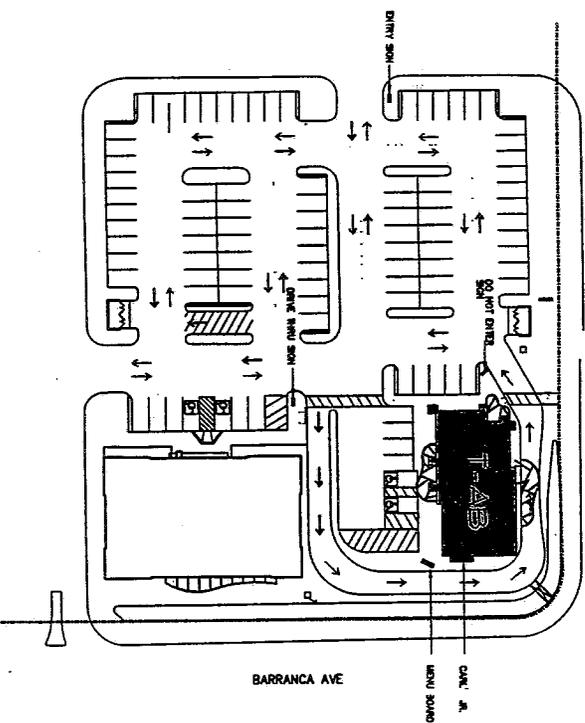
15g



2449 EWORKMAN AVE. WEST COVINA, CA. 91790-1-818/915-5396

LEGEND:

TENANT ID (CARL'S JR)	SIGN ID	SIGN AREA (MAX)	LETTER HEIGHT (MAX)
T-AB	S-39	54 SF	4'-0"
T-AB	S-40	41 SF	3'-6"
T-AB	S-41	54 SF	4'-0"
T-AB	S-42	54 SF	4'-0"

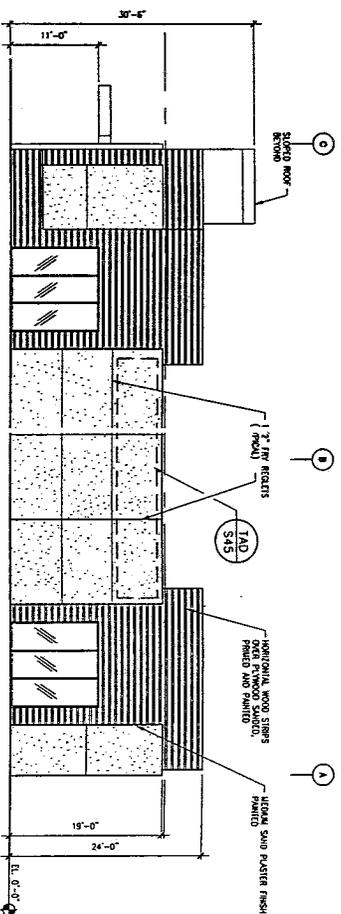




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REMARKS

2 EAST ELEVATION

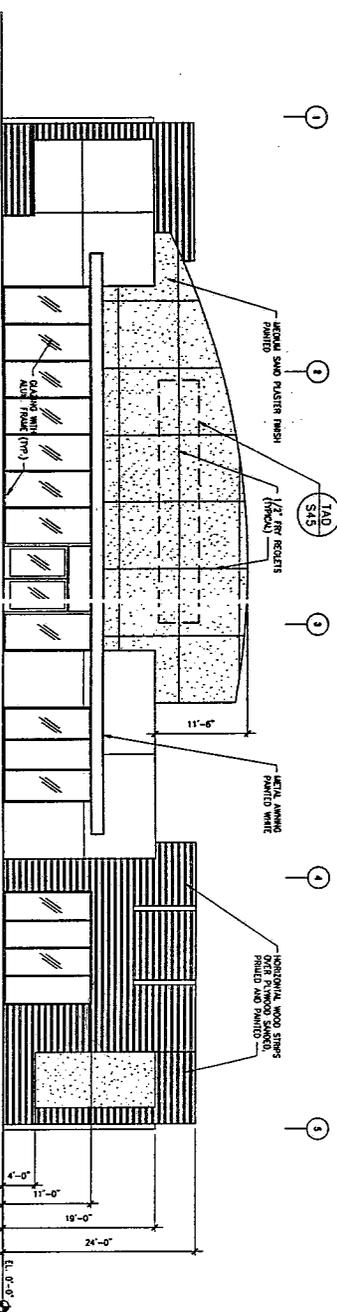


REVISIONS

▲ JULY-22-98

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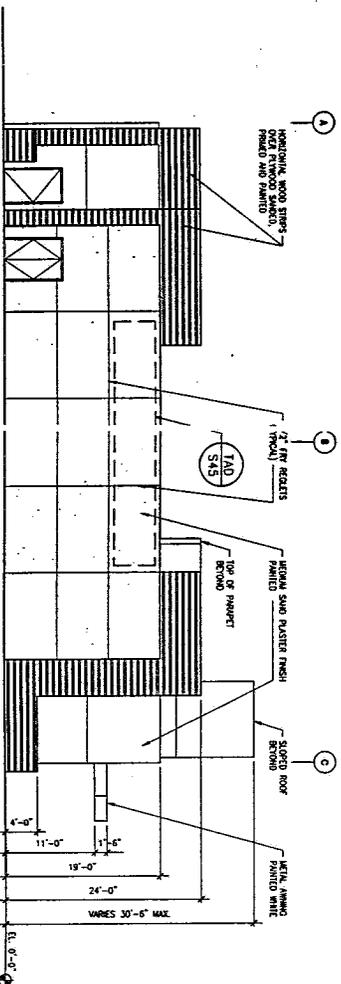
3 SOUTH ELEVATION



PAD TENANT (TAD)
STORE ID

15K

4 WEST ELEVATION



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REMARKS

REVISIONS

MAY 30 1997
JULY 22, 1999

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**GENERAL
STANDARDS**

17

GENERAL STANDARDS:

1. All tenant signs are to be internally illuminated signs which are connected to an assigned J-box provided by the landlord which must be controlled by a dedicated time clock, and have a disconnect means (switch) within visual proximity to the sign.
2. All signs and installations of signs must conform to the appropriate building and electrical codes. The tenant and the sign contractor will obtain any and all permits required prior to installation.
3. In no case will there be any exposed electrical raceways, conduits, transformers, junction boxes, conductors, or crossovers unless noted otherwise within this Criteria. Exposed hardware will be finished in a manner consistent with quality fabrication practices and the installation will be approved by Landlord.
4. Major tenant storefront identification signs may be fabricated as individually mounted closed pan or reverse pan channel letters, to be floodlit. All other tenant signs are to be closed pan channel letters.
5. Channel letter, and logo forms, are to be fabricated from minimum 24 gauge sheet metal or .063 aluminum formed into a pan channel configuration with a five inch (5") return. Each letter must have a minimum of two (2) 1/4" dia. weep holes for drainage of water. The inside of the sheet metal letter, and logo form, are to be painted white. Letter and logo faces are to be fabricated from 1/8" thick (minimum) acrylic and be attached to the metal return with 3/4" wide trim cap. Internal accordance with U/L (Underwriters Laboratory) standards with 1/4" spacers between back of sign and building fascia.
6. Tenant and/or tenant's sign contractor shall not, in course of sign installation or removal, damage any of the buildings exterior or structure. Tenant will be held fully responsible for all costs incurred to repair any damage, at the sole discretion of the landlord.
7. All penetrations of the exterior fascia are to be sealed watertight, then painted to match the existing fascia color.

COLOR OF ALL SIGNAGE ELEMENTS TO BE APPROVED BY THE ARCHITECT.

MAJOR, SHOP, PAD & UNDERCANOPY TENANTS:

1. Major, Shop, Pad & Undercanopy tenants with established logo graphics may utilize their custom colors upon approval by the landlord, the City of West Covina, and West Covina Redevelopment Agency.



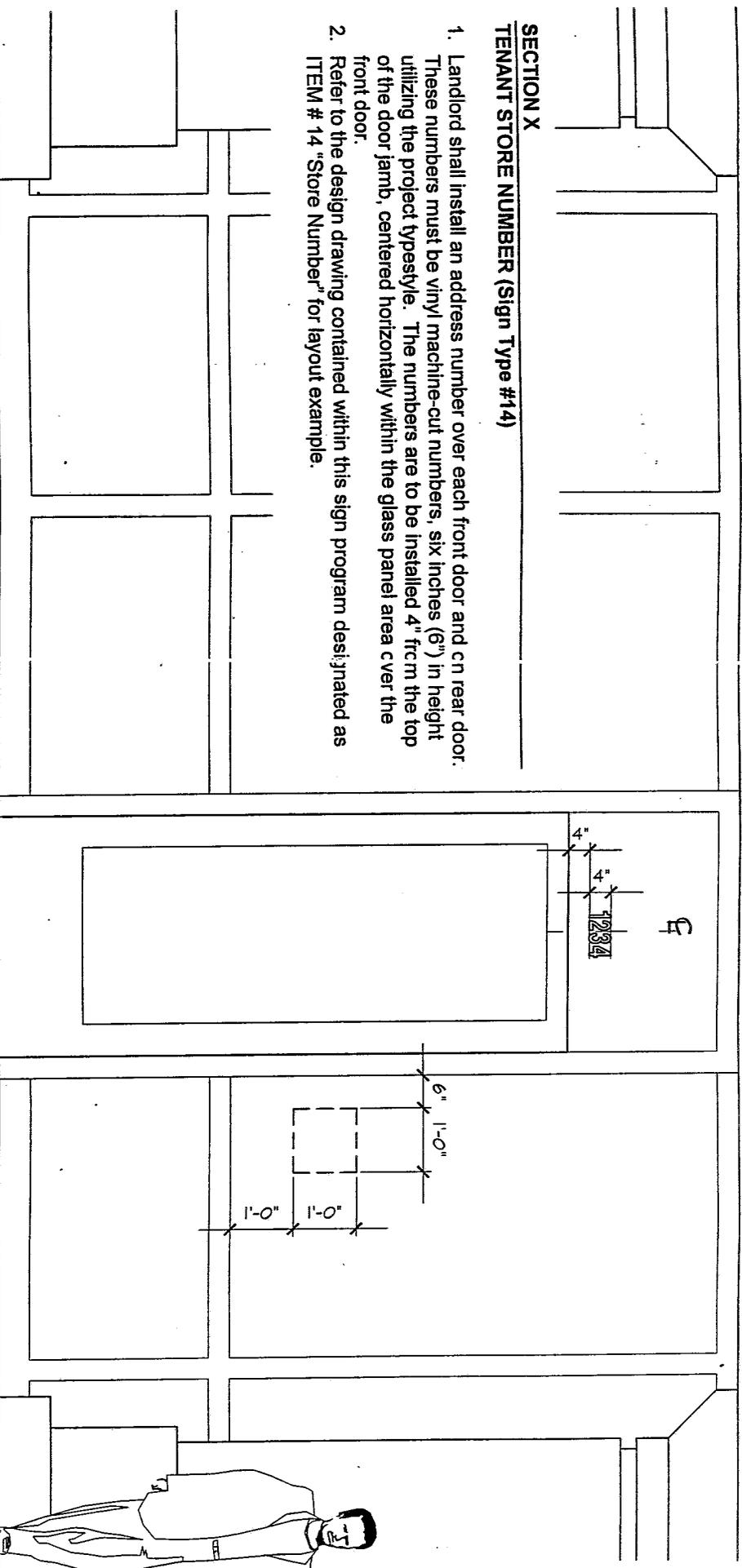
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REMARKS

REVISIONS

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**SECTION X
TENANT STORE NUMBER (Sign Type #14)**

1. Landlord shall install an address number over each front door and rear door. These numbers must be vinyl machine-cut numbers, six inches (6") in height utilizing the project typestyle. The numbers are to be installed 4" from the top of the door jamb, centered horizontally within the glass panel area over the front door.
2. Refer to the design drawing contained within this sign program designated as ITEM # 14 "Store Number" for layout example.

**SECTION XI
TENANT ENTRY INFORMATION SIGN. (Sign Type #15)**

1. Each tenant is allowed one (1) information sign at the entry to their store. The copy for this sign is limited to pertinent business information such as store hours, telephone numbers, emergency information or other business instruction.
2. This sign is to be white vinyl machine-cut copy in the project type style, applied to the store window adjacent to the entry door.
3. The maximum area allowed for this sign is 144 square inches and maximum letter height must not exceed one inch (1").
4. Refer to the design drawing contained within this sign program designated as ITEM #15 "Tenant Entry Information Sign".

**SIGN 14 TENANT STORE NUMBER
SIGN 15 TENANT ENTRY INFORMATION**

SCALE 1/2"=1'-0"

**STORE NUMBER
ENTRY INFO**

1/2

18



West Covina

2449 EMORSMAN AVE. WEST COVINA, CA. 91701 • 818-915-5395



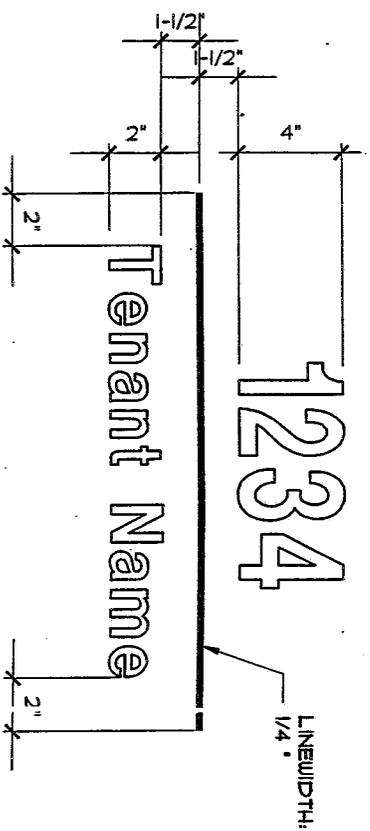
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REMARKS

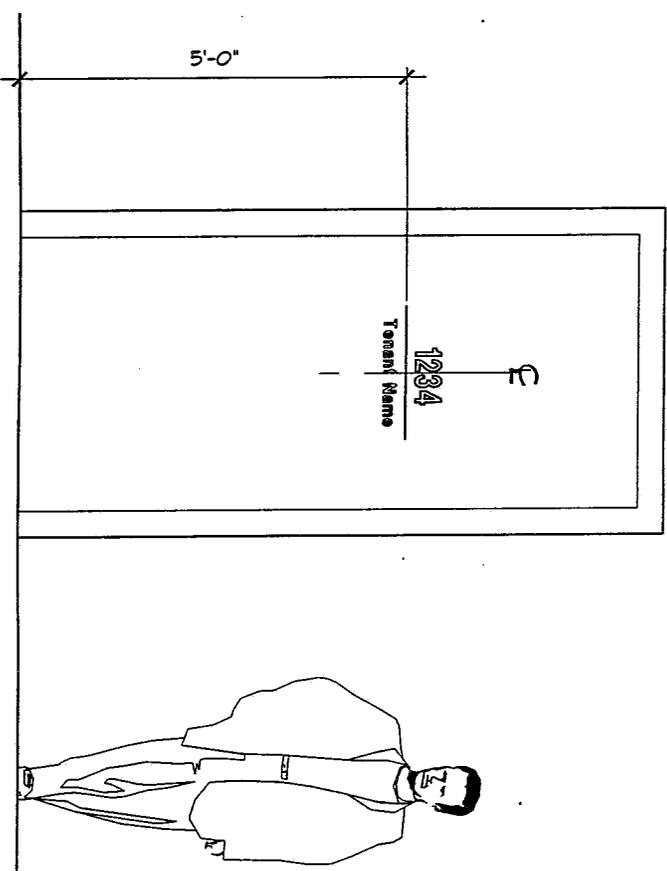
REVISIONS

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DESCRIPTION:
VINYL LETTERS AND NUMBER ON DOOR IN CONTRASTING COLOR
COPY TO BE TENANT'S NAME IN PROJECT TYPESTYLE.



NOTE: NO OTHER SIGNAGE IS ALLOWED
ON DELIVERY SIDE OF BLDG,
EXCEPT BLDG'S O & P.



SECTION XII
DELIVERY ENTRY TENANT SUITE I.D. (Sign Type #16)

1. Each tenant may place a sign at their delivery entry to identify their store number and business name.
2. Each sign is to be fabricated in the same manner and installed in the same relationship to the delivery door.
3. Refer to the design drawing contained within this sign program assigned as ITEM #16 "Delivery Entry I.D."

SIGN 16 DELIVERY ENTRY I.D.
SCALE 1/2" = 1'-0"

DELIVERY ENTRY
TENANT ID

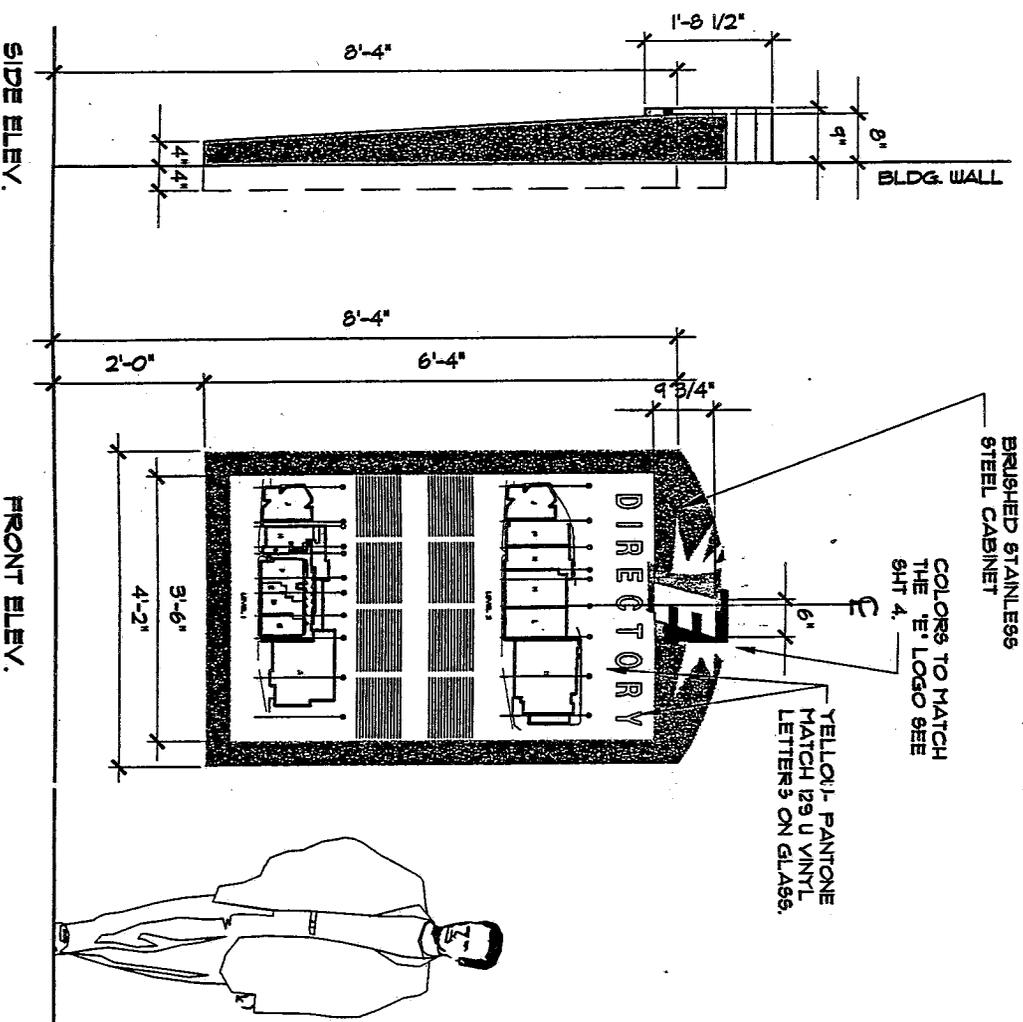
19



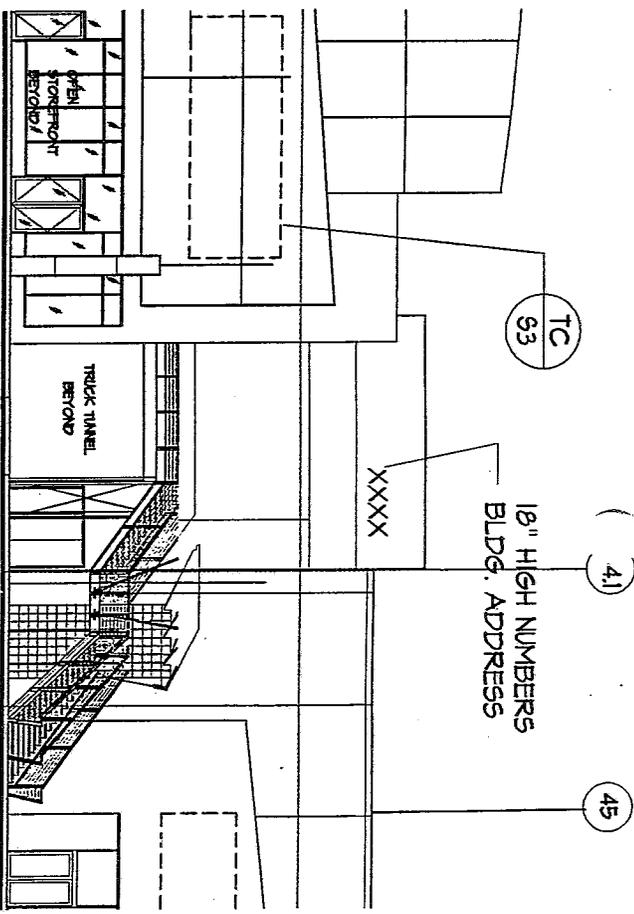
West Covina

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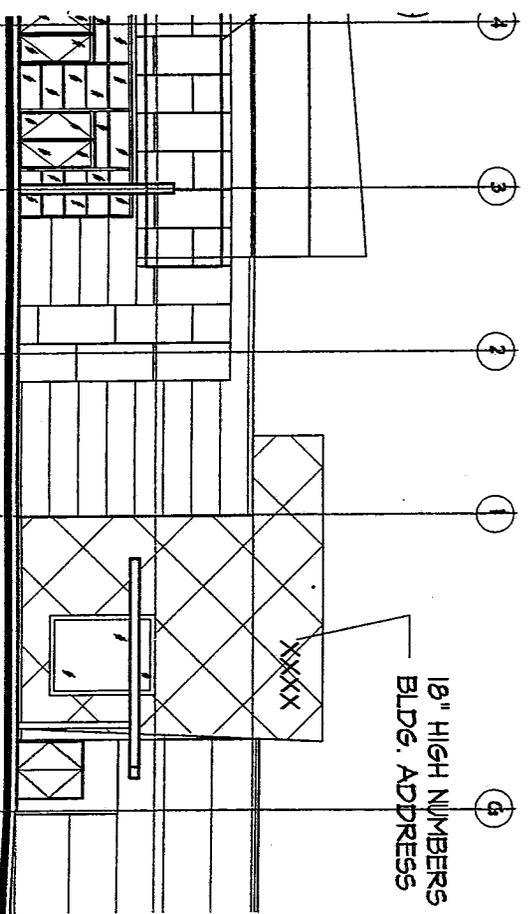
DESCRIPTION:
 SINGLE FACE FABRICATED STAINLESS STL. STRUCTURE WITH INTERNALLY ILLUMINATED DIRECTORY CABINET WITH LOCKING GLASS DOOR. PROJECT MAP COLOR CODED WITH 1/2" X 10" TENANT STRIPS.



FRONT ELEV.
SIGN #8 PROJECT DIRECTORY
 SCALE 1/2" = 1'-0"



SOUTH ELEVATION
SIGN #17 BUILDING ADDRESS
 SCALE 1/8" = 1'-0"



NORTH ELEVATION
SIGN #17 BUILDING ADDRESS
 SCALE 1/8" = 1'-0"



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REVISIONS

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BUILDING ADDRESS
 DIRECTORY

20

Eastland
 West Covina

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