



**WALNUT GROVE
SPECIFIC PLAN**

CITY OF WEST COVINA

DRAFT APRIL 2021

WALNUT GROVE

Prepared for:

City of West Covina
1444 West Garvey Avenue
West Covina, CA 91760

Applicant:

Lewis Management Corp.
1156 N. Mountain Avenue
Upland, CA 91786

Prepared by:

Kimley-Horn and Associates
765 The City Drive,
Orange, CA 92868

Phone:

Fax:

Specific Plan Consultant Team:

Architerra Design Group
Kimley-Horn and Associates
DJP Engineering, Inc
Bassesnian Lagoni

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Executive Summary

ES.1 Introduction

The Walnut Grove Specific Plan serves as the development framework for approximately 9.11 acres of land located in the City of West Covina. **Exhibit 1.1, Regional Vicinity Map** and **Exhibit 1.2, Specific Plan Area** illustrate the precise location and boundaries of the Specific Plan Area.

The Walnut Grove Specific Plan proposes a residential community with a variety of housing options, open space amenities areas, and walkable paseos in close proximity to existing commercial areas within West Covina. The project will provide housing opportunities to the City of West Covina at different affordability levels, with both single-family detached and attached townhome products. The proposed project consists of:

- 66 units of Liberty Deluxe detached single-family residences in a cluster configuration
- 92 units of attached Bedford Townhomes
- A 0.26 acre private community recreation area
- Internal drive aisles and a combination of garage and surface parking

The Specific Plan proposes a number of architectural styles, including, but not limited to: Spanish Colonial, Farmhouse, and Cottage. Detailed elevations, floor plans and other architectural details are provided in **Section 4** of this Specific Plan.

The project requires a General Plan Land Use Amendment, a Zone Change, adoption of a Specific Plan, and Tentative Tract Map approvals.

ES.2 Specific Plan Principles

Development within the Walnut Grove Specific Plan is designed in keeping with the following principles:

- Provide a high-quality and livable community;
- Provide single-family detached and attached housing opportunities within the City of West Covina;
- Provide a mixture of community and private open space opportunities for residents; and
- Adhere to traditional elements of the proposed architectural styles to contribute to the community character within West Covina.

ES.3 Document Organization

The Walnut Grove Specific Plan is organized into the following sections:

Section 1 – Plan Overview

The Plan overview introduces the project and provides the necessary background information for readers to understand the project context. This section describes the vision, goals and objectives for the project and its relationship with the City of West Covina General Plan.

Section 2 – Land Use

The land use section provides existing land use and zoning context and describes the development plan of the Specific Plan Area.

Section 3 – Development Regulations

This section provides all relevant development standards for the project. The development standards create the design framework that dictates the community and architectural composition for the project through setbacks, building heights, open space, and other standards. This section also contains the permitted uses, including those permitted conditionally.

Section 4 – Architectural Design Standards and Guidelines

The architectural design standards and guidelines include required and recommended elements relating to the architectural design of buildings within the community. This section contains both written and graphic elements to portray the relevant guidelines and standards.

Section 5 – Landscape Design Standards and Guidelines

The landscape design standards and guidelines include required and recommended elements relating to common and private open space within the community. This section contains both written and graphic elements to portray the relevant guidelines and standards.

Section 6 – Signage

This section outlines the signage requirements within the community, including private residences and common areas as well as entry monumentation.

Section 7 – Infrastructure, Utilities, and Public Services

This section identifies backbone infrastructure requirements for all utilities within the Specific Plan Area, including water, wastewater, drainage, and dry utilities. This section also discusses the vehicular and pedestrian circulation elements of the project.

Section 8 - Implementation and Administration

This section describes the process for Specific Plan implementation through plan check, timing of improvements, maintenance responsibilities, and any amendments or adjustments that may be needed.

1. Introduction

1.1. Overview

The Walnut Grove Specific Plan is a 9.11-acre planned residential community containing single-family detached and attached townhome products as well as a central community open space.

The purpose of the Walnut Grove Specific Plan is to ensure compatibility of the project with the existing surrounding uses and propose a high-quality residential community within the City of West Covina. Future development shall be consistent with the Specific Plan regulations for land use, design standards, infrastructure, utilities, and public services. Subsequent construction of the proposed residential uses shall be consistent with the current California Building Code (CBC).

1.2. Location and Setting

The Walnut Grove Specific Plan Area is located on the site of the existing Pioneer School site at 1651 E. Rowland Avenue in West Covina, California. As shown in **Exhibit 1.1**, the Specific Plan Area is located near the northern boundary of the City in close proximity to the Interstate 10 Freeway. **Exhibit 1.2** shows the Specific Plan Area and surrounding context.

The Specific Plan Area consists of a 9.11-acre existing school use with administrative buildings and classrooms on the southern portion, a parking lot in the northeast corner, and recreational fields in the northwest corner. The site is located near the northwest corner of E. Rowland Avenue and N. Azusa Avenue.

Access to the site is primarily from Rowland Avenue. Existing North Eileen Street terminates in a cul-de-sac within the property.

The existing uses adjacent to the Specific Plan Area are:

- **North:** Single-family residential neighborhoods and shopping center (Food 4 Less and Big Lots)
- **East:** Commercial office center with restaurants, retail stores, offices, and salons
- **South:** East Rowland Avenue, with a large commercial retail shopping center and single-family residential neighborhood beyond
- **West:** Single-family residential neighborhood

Exhibit 1-1. Regional Vicinity Map



 = Project Boundary



Exhibit 1-2. Specific Plan Area



 = Project Boundary

N.T.S. 

1.3. Specific Plan Objectives

The following objectives guide development of the Walnut Grove Specific Plan area:

- To provide a high-quality residential community with cohesive design;
- To increase the diversity in housing options available within West Covina for all a variety of income levels;
- To complement the existing community character of the surrounding neighborhoods; and
- To provide housing options in close proximity to existing retail hubs within the community.

1.4. Authority for the Specific Plan

The Walnut Grove Specific Plan is established through the authority granted to the City of West Covina by California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 and 65457 (Specific Plans). Government Code establishes the minimum requirements and review procedures for specific plans, requiring that a specific plan include text and diagrams that specify all of the following:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will be provided, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the project.

A specific plan is a legislative planning tool, regulatory in nature, and serves as the zoning for the property involved. Development plans, site plans, and tentative tract/parcel maps must be consistent with both the Specific Plan and the City's General Plan.

1.5. General Plan and Zoning Consistency

1.5.1. General Plan Consistency

Per the California Government Code Section 65454 "Consistency with the General Plan", the Walnut Grove Specific Plan must be consistent with the City of West Covina's General Plan. The Governor's Office of Planning and Research (OPR) defines consistency with a General Plan as "a program or project that will further the objective and policies of the General Plan."

The Specific Plan area has an existing General Plan Land Use designation of *Civic: Schools*. Adoption of the Specific Plan requires a concurrent adoption of a General Plan Land Use amendment to the "Neighborhood Medium" land use designation, which allows densities between 9 and 20 dwelling units

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per acre. Upon amendment, the Specific Plan will be consistent with the General Plan and its relevant goals and objectives.

As required by State law, this section provides an assessment of the Walnut Grove Specific Plan's consistency with the City's goals and objectives within the Housing and Land Use Elements of the current General Plan. The land uses permitted by the Specific Plan are consistent with the goals, policies, and general land uses described in the General Plan

The Walnut Grove Specific Plan shall serve to implement the following General Plan Goals:

- Housing Element – Goal 2: *“Provide a variety of housing types to accommodate all economic segments of the City.”*

Strategies:

- The intent of this goal is to assist in the provision of adequate housing to meet the needs of the community, including the needs of both renter and owner households. Provide high quality housing for current and future residents at all income levels to achieve a “balanced” community.

The Walnut Grove Specific Plan implements this goal by providing a mixture of single family detached and attached homes in a well-designed community. Development is compatible with the surrounding neighborhoods and provides housing opportunities at a variety of income levels.

- Housing Element – Goal 4: *“Promote equal housing opportunity for all residents.”*

Strategies:

- To fully meet the community's housing needs, the City must assure that housing is accessible to all residents, regardless of age, race, religion, family status, or physical disability. The City will continue to enforce fair housing laws prohibiting discrimination in the building, financing, selling, or renting of housing on the basis of race, ethnicity, ancestry, national origin, religion, sex, disability, age, marital status, familial status, source of income, sexual orientation, or any other arbitrary factor.

The Walnut Grove Specific Plan Specific Plan shall implement this goal by allowing anyone, regardless of sex, age, race, marital status, ethnic background, handicap, source of income, or any other characteristic to live within the community.

- Housing Element – Goal 5: *“Identify adequate sites to achieve housing variety.”*

Strategies:

- The City intends to provide for a range of residential development types in West Covina, including low density single-family homes, moderate density townhomes, higher density multi-family units, and residential/commercial mixed use in order to address the City's share of regional housing needs. The City will also explore opportunities for new residential development within those areas of the City occupied by vacant or underutilized, obsolete commercial and industrial uses.

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The Walnut Grove Specific Plan shall implement this goal by creating detached single family residential and attached townhouse housing options through infill development on an underutilized parcel.

- Land Use Policy – P3.3: *“New growth will complete, enhance, and reinforce the form and character of the unique West Covina neighborhoods, districts and corridors.”*

Strategies:

- Adjust regulations for the neighborhoods, districts and corridors to reflect the nature of intended change.

The Walnut Grove Specific Plan implements this policy by creating well designed homes compatible with the community character of existing surrounding neighborhoods within West Covina.

- Land Use Policy – P8.4: *“Small and frequent open spaces should be dispersed throughout the neighborhood.”*

Strategies:

- Develop new neighborhood parks, pocket parks, and community gardens as feasible and appropriate to meet citizen needs and require them in new development.

The Walnut Grove Specific Plan implements this policy by establishing a primary recreation area within the project site as well as a number of internal paseo walkways, creating equal access to open space for residents.

1.5.2. Zoning Consistency

The site is currently zoned R-1 – Residential Single-Family and will require a zone change to Specific Plan. The Walnut Grove Specific Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan.

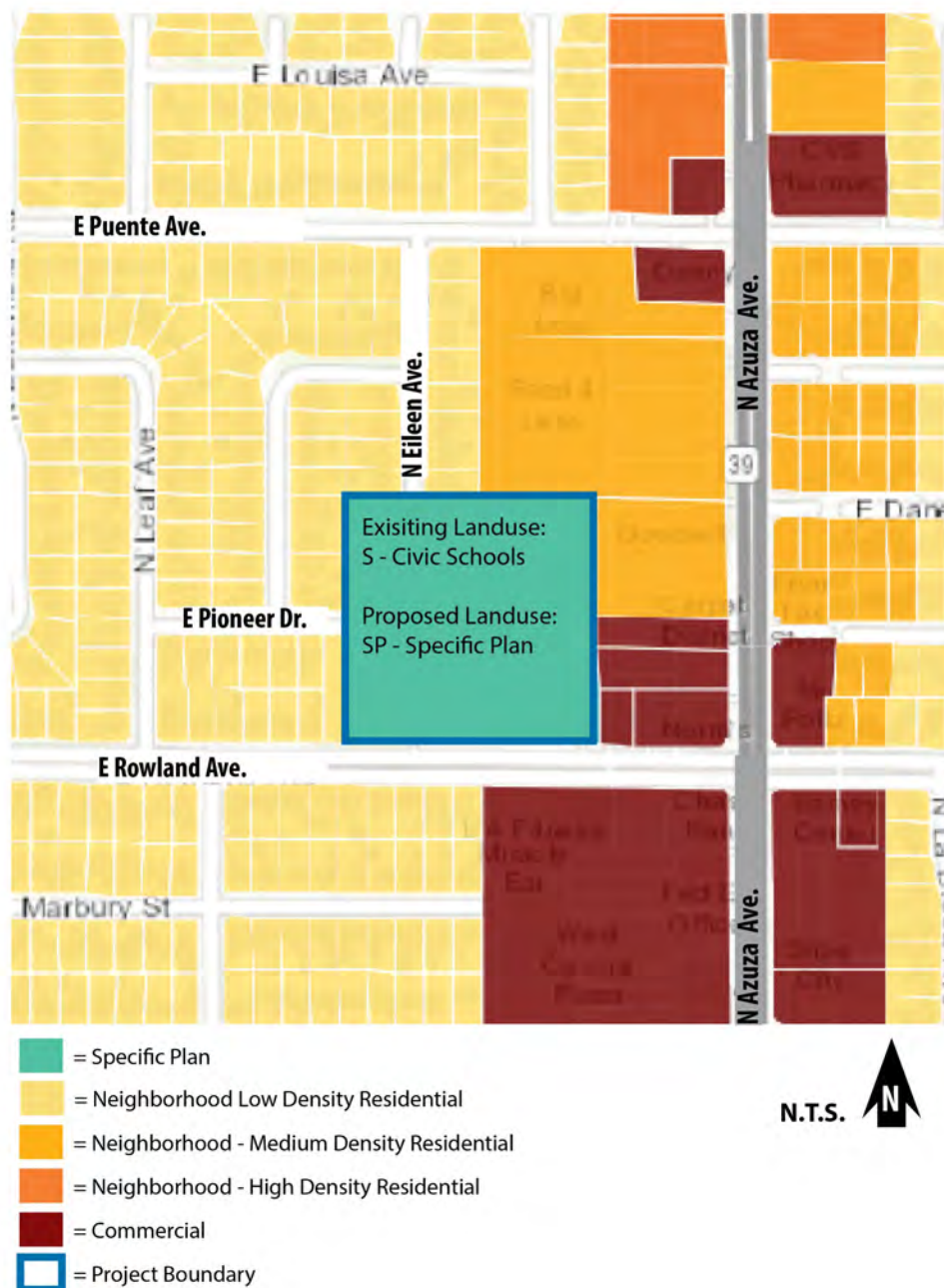
Where conflicts exist between the standards contained in this Specific Plan and those found in the City of West Covina Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of West Covina Zoning Code, Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

2. Land Use

The Specific Plan area has an existing General Plan Land Use designation of *Civic: Schools*. Adoption of the Specific Plan requires a concurrent adoption of a General Plan Land Use amendment to the “Neighborhood Medium” land use designation, which allows densities between 9 and 20 dwelling units per acre. The Specific Plan seeks a density of 16.7 dwelling units per acre with an overall plan area size of 9.11 acres.

Exhibit 2.1 shows the surrounding land uses in close proximity to the Specific Plan Area.

Exhibit 2-1. Existing and Proposed General Plan Land Use



2.1. Land Use Program

The land use program consists of residential and common open space components. The project is a residential community that consists of both detached and attached single-family residential dwelling units.

2.1.1. Residential Uses

The residential development consists of two housing products, the Liberty Deluxe single-family residences totaling 66 units and Bedford Townhomes totaling 92 units, an overall total of 158 homes. As shown in **Exhibit 2.2**, the Liberty product is designed as a cluster arrangement focused around a private drive alley. The individual clusters contain either six or eight units each. The Bedford townhouse product contains either five or six units.

2.1.2. Recreation and Common Open Space

The recreation and common open space component of the land use plan consists of 0.27 acres of neighborhood park uses. This will be a private park that is publicly accessible and shared by all residents and may contain elements such as a tot lot, open lawn space, and community gathering areas. Residents within the single-family cluster products have private open space as well.

Exhibit 2.2, Site Plan shows how these uses and dwelling units are allocated throughout the Specific Plan. **Table 2.1** includes a breakdown of the proposed land uses.

Table 2-1. Land Use Summary

Land Use	Gross Acreage (Acre)	Density (Dwelling Units /Acre)	Dwelling Units
Residential	8.84	15-18	158
Common Open Space	0.27	--	--
Total	9.11	--	

Exhibit 2-2. Site Plan



2.2. Zoning Summary

The site is currently zoned R-1 – Residential Single-Family and will require a zone change to Specific Plan. The Walnut Grove Specific Plan will allow for a density between 15 and 18 single family units per acre. The Specific Plan Area is surrounded by parcels with the following zoning designations:

- Residential Single-Family (R-1) and Neighborhood Commercial (N-C) to the north;
- Service Commercial (S-C) to the east;
- Service Commercial (S-C) and Residential Single-Family (R-1) to the south; and
- Residential Single-Family (R-1) to the west.

Exhibit 2.3, Existing and Proposed Zoning, shows the proposed zone change and existing zoning of surrounding parcels.

2.3. Typical Lots

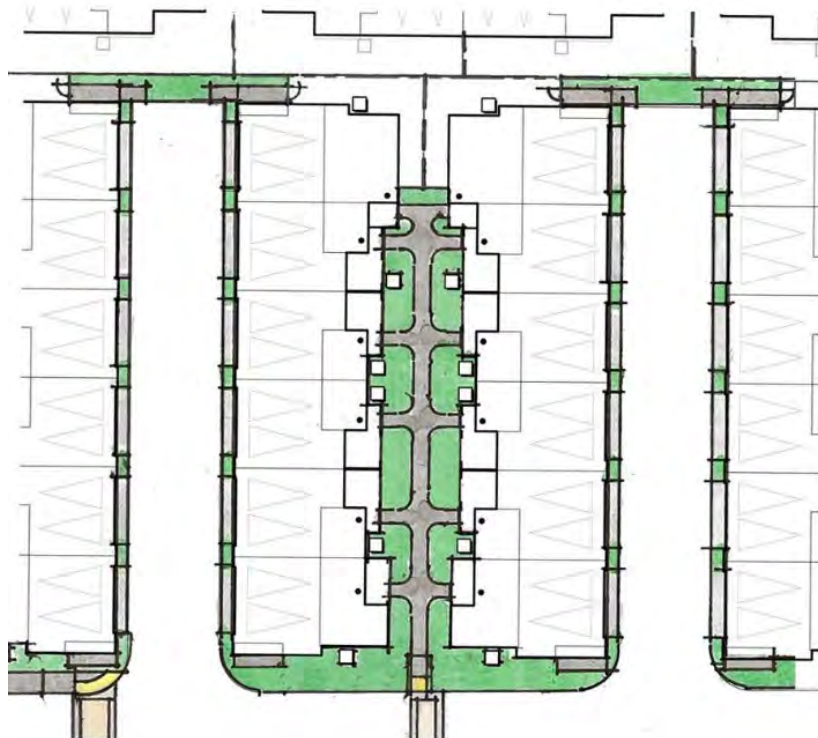
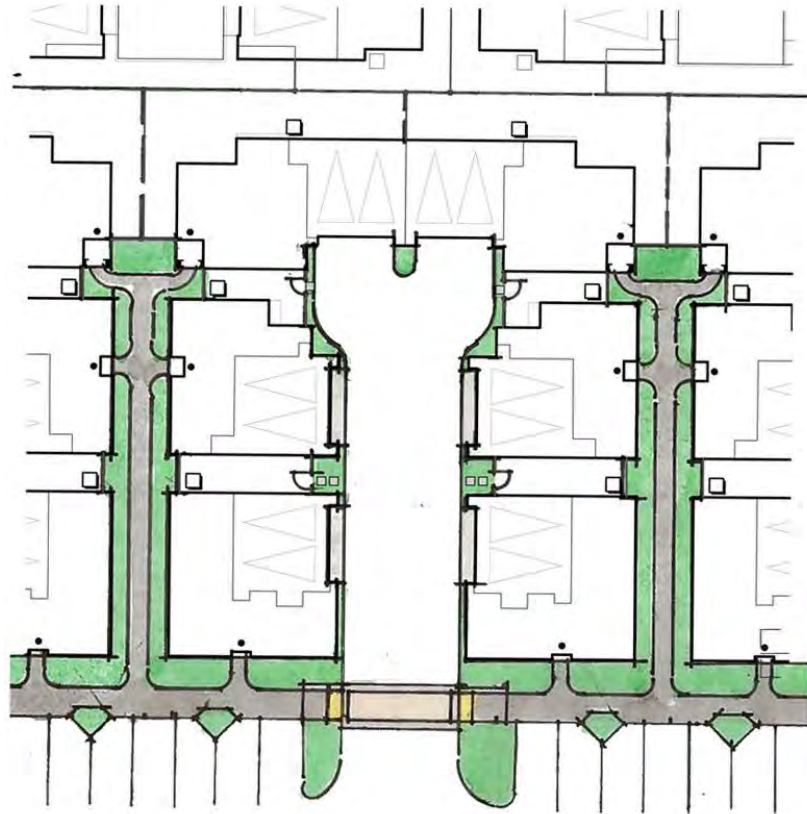
The project consists of two different housing types: a detached single-family cluster with six or eight individual units and attached row townhomes with five or six individual units. Minimum lot dimensions for the two products are described in **Section 3**, Development Plan, of this Specific Plan

Exhibit 2.4 shows the typical lot configurations for the cluster and townhouse products.

Exhibit 2-3. Existing and Proposed Zoning



Exhibit 2-4. Typical Cluster Lot (Top) and Typical Townhouse Lot (Bottom)



3. Development Regulations

3.1. General Provisions

This section has been prepared in accordance with California Government Code Section 65450, et seq. and the City of West Covina Zoning Ordinance (Chapter 26 of the West Covina Municipal Code). Regulations are proposed for residential uses. Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among land uses and protect the health, safety and welfare of the community. The following General Development Standards apply to all uses within the Walnut Grove Specific Plan.

3.1.1. Applicability

The Walnut Grove Specific Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. California Government Code, Section 65454 requires that a Specific Plan be consistent with the General Plan.

Upon adoption, actions deemed to be consistent with the Walnut Grove Specific Plan shall be judged to be consistent with the City of West Covina General Plan. Where conflicts exist between the standards contained in this Specific Plan and those found in the City of West Covina Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of Walnut Gove Zoning Code, Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

3.1.2. Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

3.1.3. Determination of Unlisted Use

Any Land use not specifically covered by the provisions contained herein shall be subject to Section 26-504 of the City of West Covina Zoning Ordinance.

3.2. Residential Development Standards

The development standards and product types included herein are intended to establish the minimum design parameters. The Walnut Grove Specific Plan allows for medium density single family and multifamily residential. The allowable density shall be between 15 and 18 units per acre. The Specific Plan shall include two residential products: detached single-family units and attached townhomes.

Table 3.1 outlines the applicable development standards for both the single-family residential cluster and the townhouse product. **Exhibit 3.2** and **Exhibit 3.3** outline the applicable development standards for each residential development product.

Table 3-1: Residential Development Standards

Development Standards	Specific Plan		
	Setback Label	Cluster Homes	Townhomes
Minimum Building Setbacks			
Front to Front (Living Area to Living Area)	A	9'	12'
Front to Street (Building to ROW)	B	8'	N/A
Side to Street (Building to ROW)	C	7'	2'
Building to Building (Cluster to Townhome)	--	15'	15'
Rear Yard (Building to Property Line)	D	6'-6"	6'-6"
Garage Door to Drive Court/Street	E	3'-0"	3'-0"
Garage Door to Garage Door	F	30'	28'
Perimeter Setbacks			
Rowland Avenue (Property Line to Building)	--	15'	15'
Rowland Avenue (Parking to ROW)	--	3'	3'
Existing Residential - West (Property Line to Building)	--	15'	N/A
Existing Residential - North (Property Line to Building)	--	15'	N/A
Existing Commercial - North (Property Line to Building)	--	15'	12'
Existing Commercial - East (Property Line to Building)	--	N/A	10'
Other			
Maximum Building Height	--	30'-0"	45'-0"
Minimum Unit Size	--	1,450 SF	1,300 SF
Private Parking Requirement	--	2 spaces per unit (plus 0.5 guest space per unit)	2 spaces per unit (plus 0.5 guest space per unit)
Private Recreation Center Parking	--	On-street parking within project	On-street parking within project
Common Open Space*	--	100 SF per unit	100 SF per unit
Private Open Space	--	150 SF per unit	100 SF per unit
Architectural Projections**	--	3'	3'
Walls/Fences			
Freestanding Property Line Walls/Fences	--	8'	8'
Combination Property Line Walls/Fences	--	8'	8'
Retaining Walls***	--	4'	4'
NOTES:			
* Includes paseos and recreation center			
** Any architectural feature that projects from the building and seeks to enhance the structure may encroach into the setback area provided there is always 3 feet of clearance around the projection. Projections shall not encroach into the required clear space for Fire Department Access. Examples of architectural projections include, but are not limited to, pilasters, chimneys, belly bands, roof eaves, covered porches, etc.			
*** Retaining walls permitted up to 4'. 6' freestanding wall permitted on top of retaining walls.			

Exhibit 3-1. Cluster Homes Development Standards

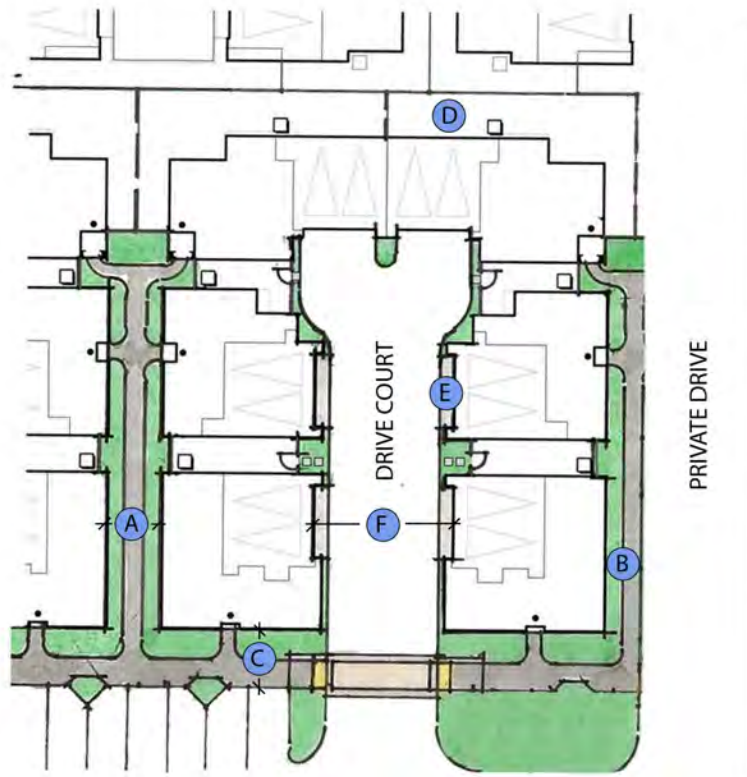
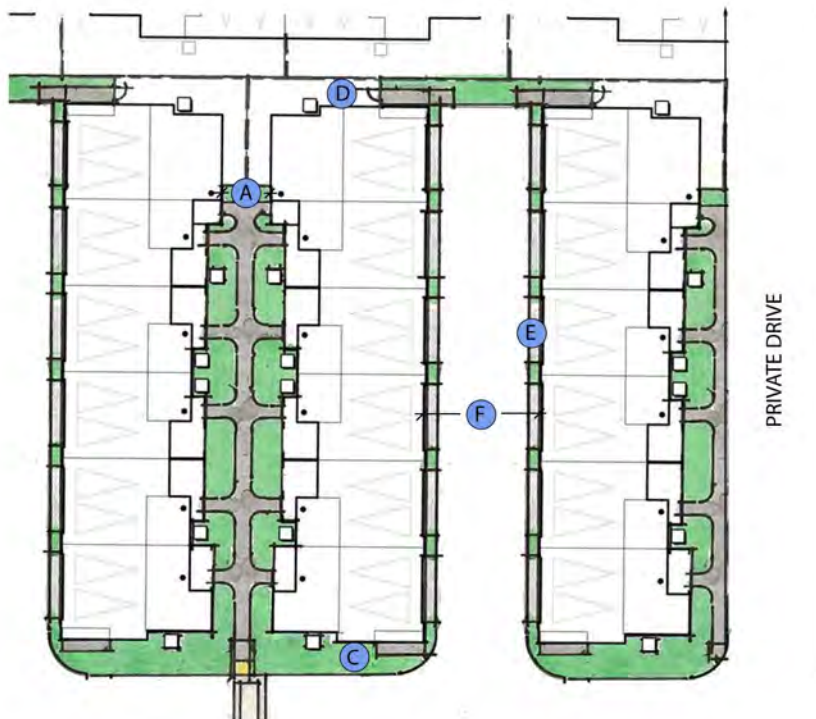


Exhibit 3-2. Townhouse Development Standards



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3.2.1. Minor Exceptions

Architectural features that project from the building and seeks to enhance the structure may encroach into the setback area provided there is always 3 feet of clearance around the projection. Projections shall not encroach into the required clear space for Fire Department Access. Architectural projections include, but are not limited to, pilasters, chimneys, belly bands, roof eaves up to 24" in depth, covered porches, patios, etc. Architectural projections may not contribute to additional floor area or lot coverage.

3.2.2. Floor Plans

There shall be three minimum floor plan types for the cluster homes and minimum two floor plans types for the townhomes. For the single-family residences varying square footages range from a minimum of approximately 1,471 square feet to approximately 1,798 square feet. Refer to **Exhibits 4-1, 4-2, 4-4, 4-17, 4-18, 4-24 and 4-25** for conceptual floor plans.

3.2.3. Residential Parking Requirements

This section shall be considered the "Master Parking Requirements" for the Walnut Grove Specific Plan. The project shall provide a minimum of 2 parking spaces per unit and 0.5 guest parking spaces per unit for all units within the Specific Plan area. Parking requirements are met through two (2) covered garage spaces for each unit and eighty-two (82) uncovered surface parking spaces dispersed throughout the community.

3.2.4. Parking Design and Improvements

All parking areas shall be surfaced with or paved with porous asphalt concrete, concrete, or other surface approved by the City Public Works Department and shall thereafter be maintained in good condition.

3.3. Community Preservation/Maintenance

Walnut Grove shall have a private Homeowner's Association. The association shall provide maintenance of all private common area improvements, landscape, entry gate, and fence and wall repairs.

3.3.1. Permitted Uses

No building or improvement or portion thereof in the single-family residential area shall be erected, constructed, converted, established, altered or enlarged nor shall any lot or premises be used except for one (1) or more of the following purposes:

- Single-family dwellings and single-family condominium dwellings
- Accessory buildings, including but not limited to,
 - accessory dwelling units subject to the provisions of the West Covina Municipal Code
 - garages
 - carports
 - workshops, or
 - storage sheds or rooms
- Home occupations subject to the provisions of West Covina Municipal Code
- State authorized small family day care
- State authorized residential care facilities (6 or fewer clients)

3.3.2. Prohibited Uses

All uses not expressly stated as permitted uses in the previous section are prohibited.

4. Architectural Design Standards and Guidelines

4.1. Purpose and Intent

The purpose of this section is to ensure that all development within the Walnut Grove Specific Plan conforms to high standards of design quality. The standards and guidelines contained within this section seek to establish a design framework for the project. In order to keep consistency across the Specific Plan area, the architectural styles used carry across the detached cluster product and the attached townhome product.

The terms “shall”, “should”, and “may” are used within the design guidelines. The term “shall” is used to denote a design standard where compliance is required. The term “should” is used to denote a guideline that is recommended, but not required in all circumstances. The term “may” is used to denote a design treatment that is allowed or optional.

The architectural styles of the cluster product are Cottage, Farmhouse, and Spanish Colonial. The architectural styles of the townhome product include Farmhouse and Spanish Colonial. Special attention was given to choosing architectural styles which are both complementary of the architecture of the surrounding community and representative of historical architectural styles found within the region. This section provides standards and guidelines for development within the Walnut Grove Specific Plan area.

4.2. Single Family (Cluster and Townhome Products)

Residential development within the Walnut Grove Specific Plan area consists of two different residential products. These are a detached cluster product centered around a private alley, and an attached townhouse product. The Cluster product is envisioned as, however not limited to, Spanish Colonial, Farmhouse and Cottage style homes. The Townhome product is envisioned as, however not limited to, “Farmhouse” and Spanish Colonial style homes.

The following design guidelines will help create a cohesive community through architecture, landscaping, and site planning. The exhibits shall provide graphic examples incorporating the guidelines/requirements into the project. Also refer to the Residential Development Standards (Table 3.1) for detailed information on specific development standards.

4.2.1. Architectural Style

All elevations shall be similar to the elevations shown in figures below, incorporating building forms, masses, roof design and authentic details and accent features that are consistent with the architectural style of the elevation. The exhibits within Section 4 include conceptual floor plan composites, building floor plans, and architectural elevations showing the typical architectural styles for each product type.

4.2.2. Materials

All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials and colors shall wrap architectural elements and terminate at inside corners.

4.2.3. Roofs

A variety in roof forms, ridge and eave heights, and direction of hips or gables shall be required to avoid a monotonous roofscape as viewed from neighborhood streets, open space, etc. All main roofs have

Walnut Grove Specific Plan [DRAFT]

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varying pitches, which depend on the architectural style and established plan. The main roof pitch for the cluster products are as follows:

- Plan 1A, Spanish Colonial: 4.5:12
- Plan 1B, Farmhouse, main roof pitches: 8:12 to the left and 3:12 to the right
- Plan 1C, Cottage, main roof pitches: 6:12 to the left and 4:12 to the right
- Some small shed roofs over entries and windows range from 3:12 to 6:16
- The main roof pitch for the townhouse product: 8:12, with some overhangs at 3:12.

Roof materials should consider authenticity of style while balancing economical necessities. Fascia elements should be consistent with the architectural style of the building.

4.2.4. Windows

Window details, including header, sill and trim elements shall be consistent with the architectural style of the building. Window shapes and mullion patterns shall be consistent with the architectural style of the building. The shape and size of shutters shall be compatible with the window opening.

4.2.5. Gutters and Downspouts

Exposed gutters and downspouts shall be colored to either match or complement the surface to which they are attached.

4.2.6. Exterior Lighting

Bollard lights shall be permitted in open space areas. Carriage lights, where used, shall be consistent with the architectural style of the building.

4.3. Accessory Elements

4.3.1. Trash

Resident trash containers shall be stored in the garage of each unit or out of site from common areas. The trash containers shall be wheeled out to the designated area on the driveway apron on trash collection day. For those containers not reachable by the trash collection vehicle, the bins shall be placed on the nearest curb for trash collection day only. Outdoor trash enclosures, with the exception of common trash enclosures in the neighborhood park area, are prohibited.

4.4. Non-Architectural Elements

4.4.1. Mechanical Equipment

No mechanical equipment (air-conditioning, heating units, etc.) shall be mounted on, or attached to, any pitched roof. They may be located within either the side yard or the rear yard, outside of the setbacks, and fully screened from public view by fencing or adequate plant material.

Such equipment is not permitted in the front yard or the yard within public view of the street. Mechanical devices such as exhaust fans, vents, and pipes shall be painted to match adjacent roof and wall surfaces.

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4.4.2. Meters

Natural gas meters and electrical meters shall be mounted onto the external wall of the building. Builder shall contact the utility provider for minimum clearances. Meters shall be easily accessible but screened from view from common areas through landscaping.

4.5. Perimeter Security

The development will include a new boundary fence or wall (or combination thereof along the northern, eastern, and western perimeters of the site. The southern perimeter will include a combination of privacy fencing for individual homes and homes that front directly on to E. Rowland Avenue. There will be no fencing at ingress/egress points or along the street-adjacent parking area at the southern perimeter.

- The western and northern boundaries will utilize a combination of 6' tall precision block perimeter wall with a 4" cap and 6' tall enhanced split-face block perimeter wall with enhanced beveled cap.
- The eastern boundary and southern boundary (where applicable) will utilize a 6' tall enhanced split-face block perimeter wall with enhanced beveled cap.
- Internal fencing between private yards will be a 6' tall vinyl privacy fence and 6' tall single-sided split-face interior walls with 4" cap where yards abut common areas.
- A 3'-8" tall 2-rail vinyl PVC community park fence will be located on the northern and western boundaries of the common park space.

Exhibit 4-1. Conceptual Floor Plan Composite (Cluster – 1st Floor)



FIRST FLOOR

PLAN 1A

1,471 SQ. FT.
3 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	572 SQ. FT.
2ND FLOOR	898 SQ. FT.
TOTAL	1,471 SQ. FT.
PRIVATE OUTDOOR YARD	±183 SQ. FT.
PRIVATE OUTDOOR DECK	N/A
2 - CAR GARAGE	479 SQ. FT.

Note: Square Footage may vary due to method of calculation

PLAN 2A

1,663 SQ. FT.
3 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	649 SQ. FT.
2ND FLOOR	1,014 SQ. FT.
TOTAL	1,663 SQ. FT.
PRIVATE OUTDOOR YARD	±1,603 SQ. FT.
PRIVATE OUTDOOR DECK	N/A
2 - CAR GARAGE	474 SQ. FT.

Note: Square Footage may vary due to method of calculation

PLAN 3A

1,798 SQ. FT.
4 BEDROOMS / 3 BATHS + LOFT
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	741 SQ. FT.
2ND FLOOR	1,051 SQ. FT.
TOTAL	1,798 SQ. FT.
PRIVATE OUTDOOR YARD	±212 SQ. FT.
PRIVATE OUTDOOR DECK	N/A
2 - CAR GARAGE	471 SQ. FT.

Note: Square Footage may vary due to method of calculation

Note:

- See Landscape Plans for Paseo/sidewalk design, & fence locations
- Verify location and height of step at garage with civil plans. Riser to be 6" max in height.
- Verify utility, parking, and curb location with civil plans

Exhibit 4-2. Conceptual Floor Plan Composite Cluster – 2nd Floor)



Exhibit 4-3. Cluster Product - Typical Elevations (Plan 1)



COTTAGE

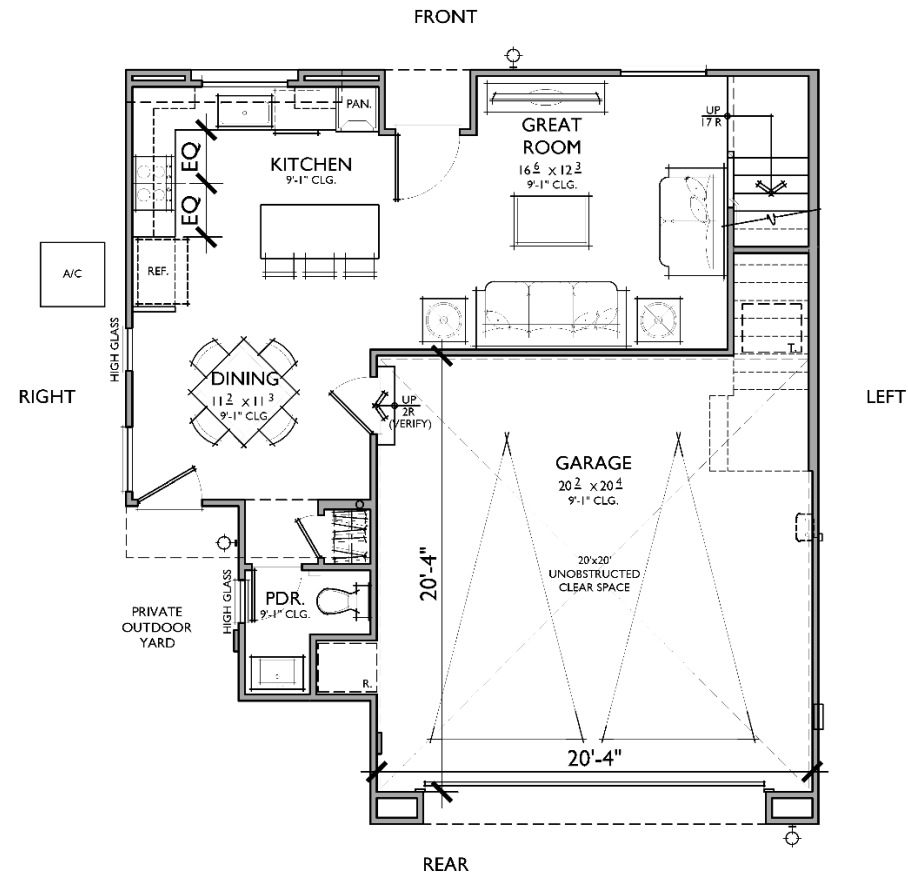
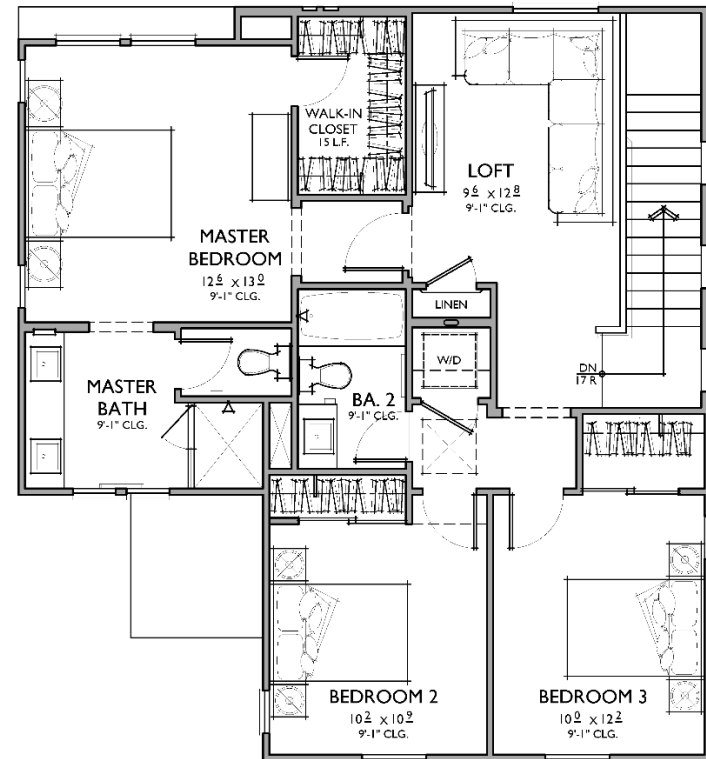


FARMHOUSE



SPANISH COLONIAL

Exhibit 4-4. Typical Floor Plan - Cluster Plan 1



PLAN 1A

1,471 SQ. FT.
 3 BEDROOMS / 2.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	572 SQ. FT.
2ND FLOOR	898 SQ. FT.
TOTAL	1,471 SQ. FT.
PRIVATE OUTDOOR YARD	±183 SQ. FT.
PRIVATE OUTDOOR DECK	N/A
2 - CAR GARAGE	479 SQ. FT.

Note: Square Footage may vary due to method of calculation

KEY MAP

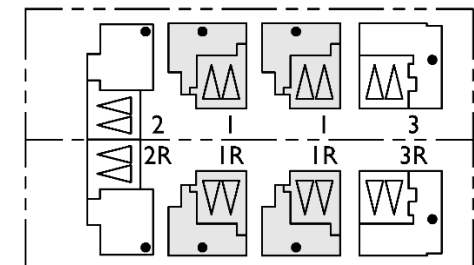
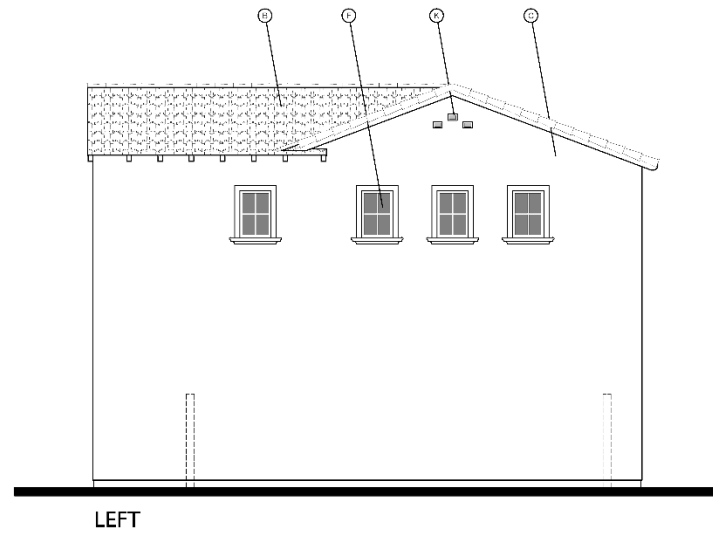
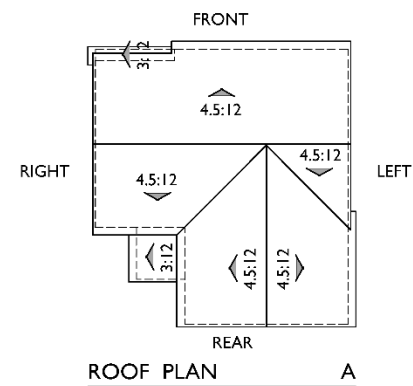
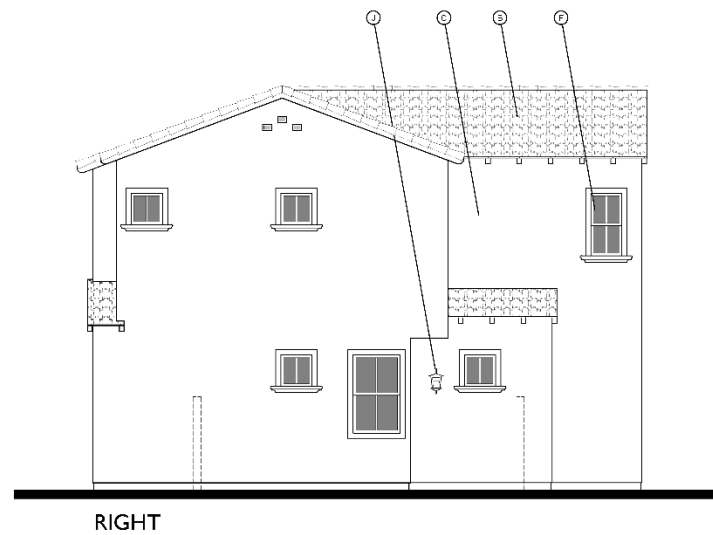
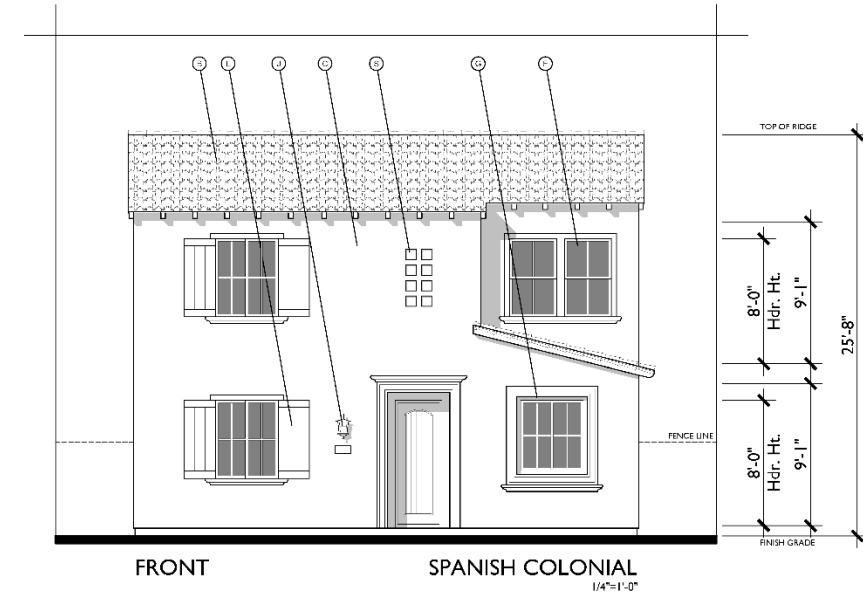


Exhibit 4-5. Spanish Colonial Elevation - Cluster Plan 1



MATERIAL LEGEND - A

- B. CONCRETE "S" TILE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- M. WROUGHT IRON
- N. METAL RAILING
- R. DECORATIVE 6 X 6 TILE
- S. RECESS STUCCO



PITCH: 4.5:12 UNLESS NOTED OTHERWISE
RAKE: 4"
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE

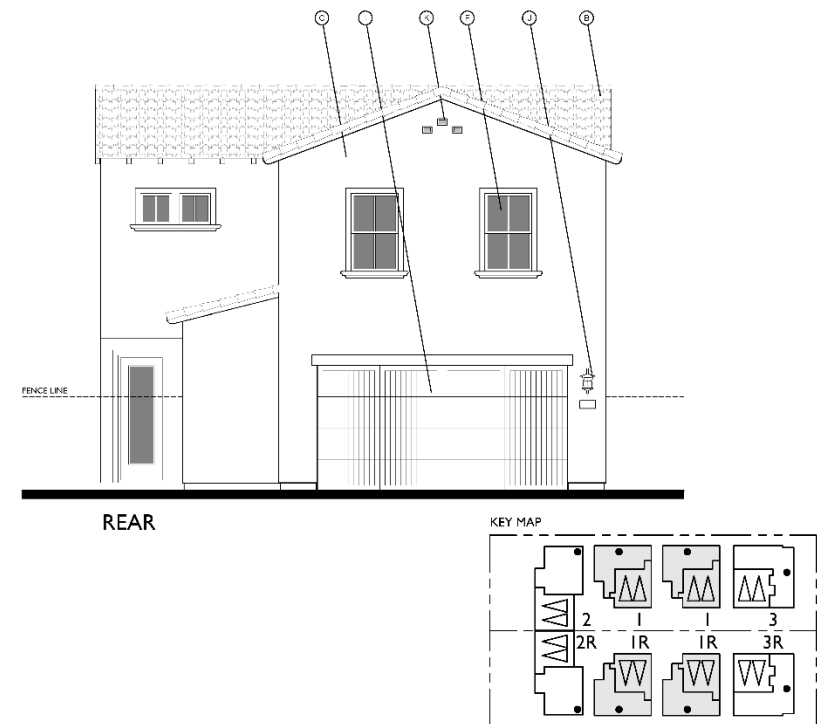
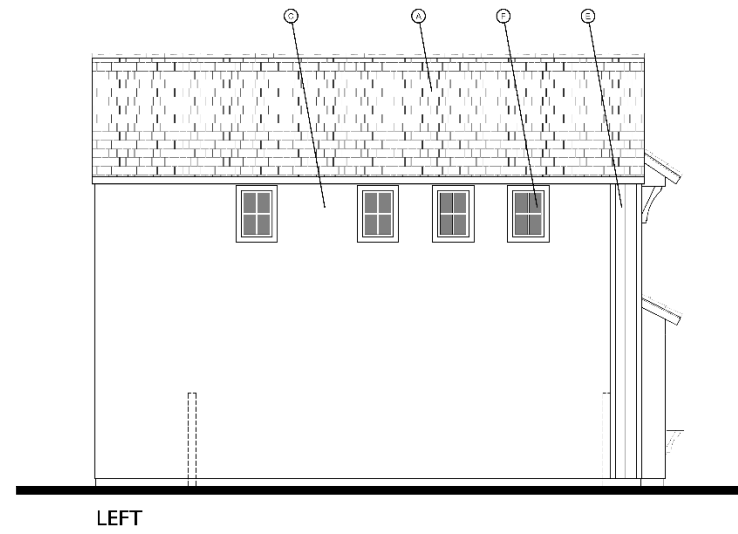
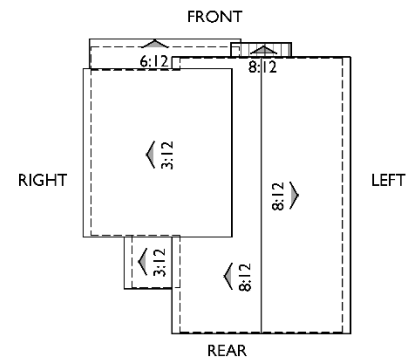
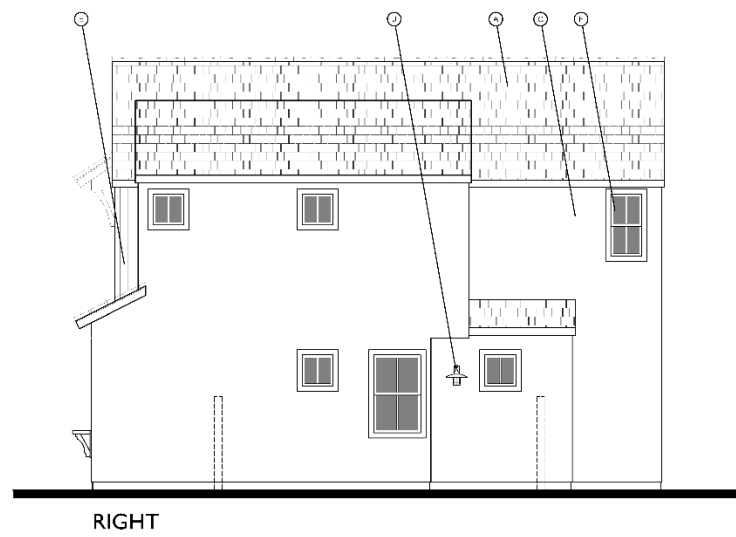
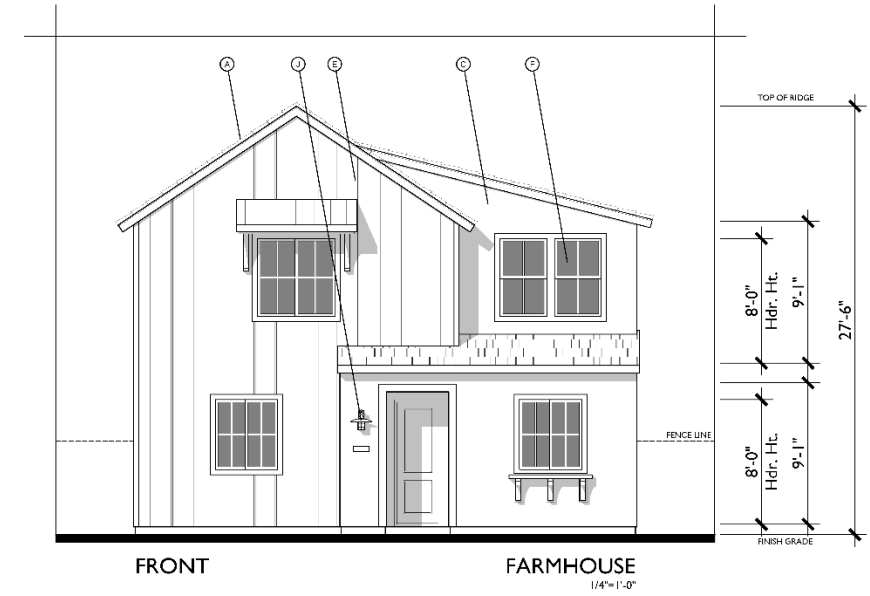


Exhibit 4-6. Farmhouse Elevation - Cluster Plan 1



MATERIAL LEGEND - B

- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING



ROOF PLAN B

PITCH: 8:12 UNLESS NOTED OTHERWISE
RAKE: 2"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE

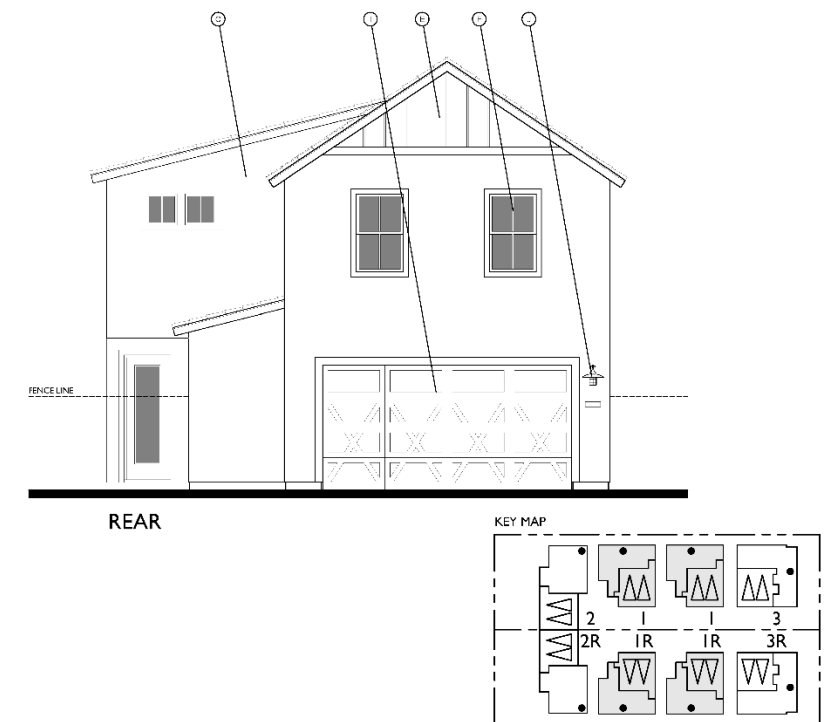
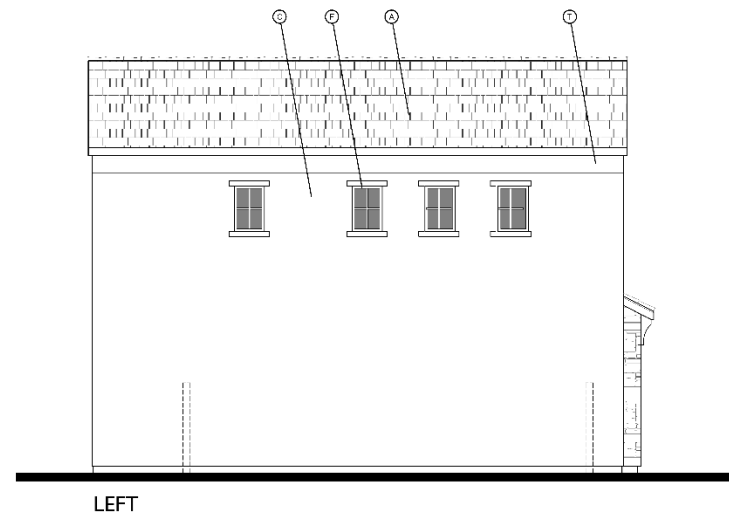


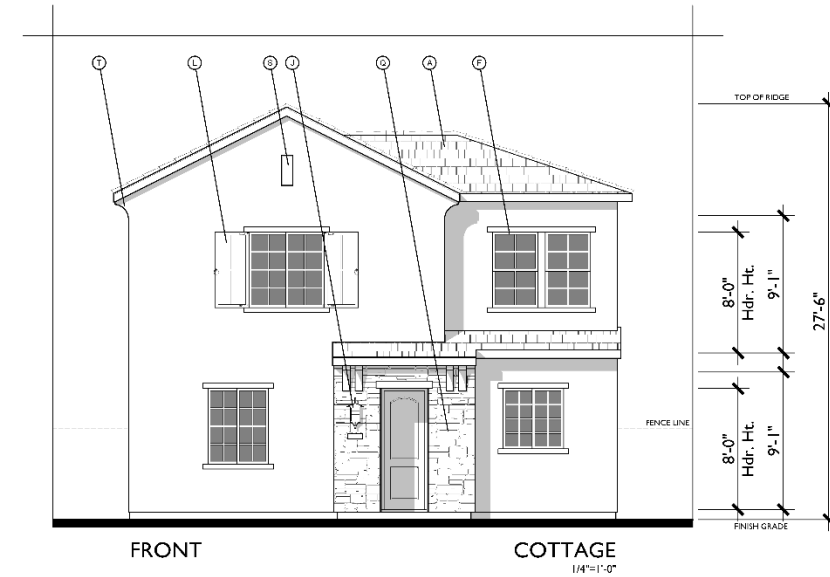
Exhibit 4-7a. Cottage Elevation - Cluster Plan 1



LEFT

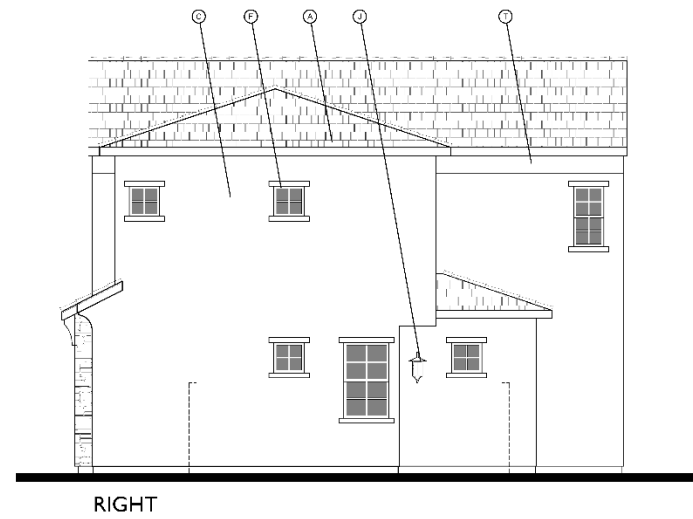
MATERIAL LEGEND - C

- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- Q. STONE VENEER
- S. RECESS STUCCO
- T. FOAM EAVE

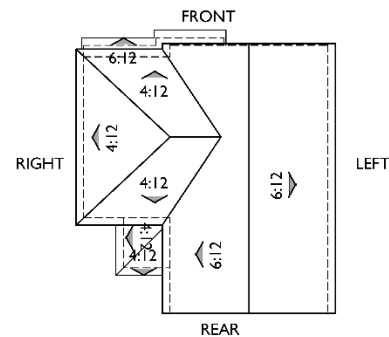


FRONT

COTTAGE
1/4"=1'-0"

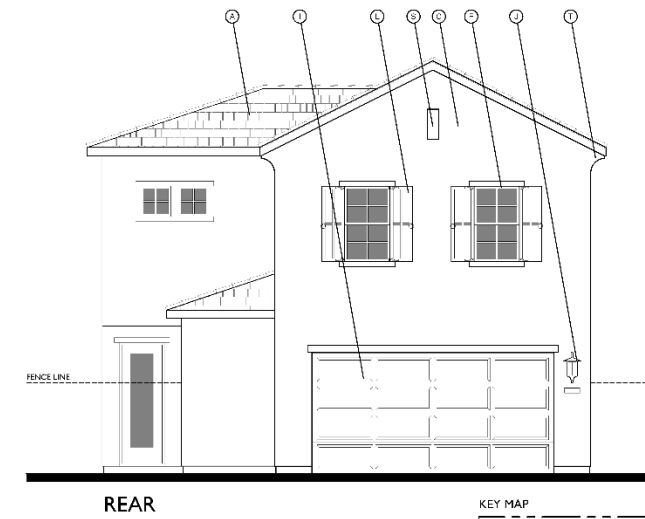


RIGHT



ROOF PLAN C

PITCH: 4:12
 RAKE: 3"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE FLAT TILE



REAR

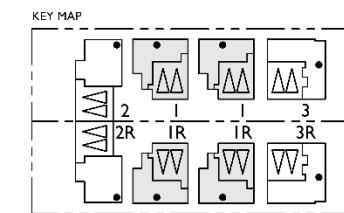
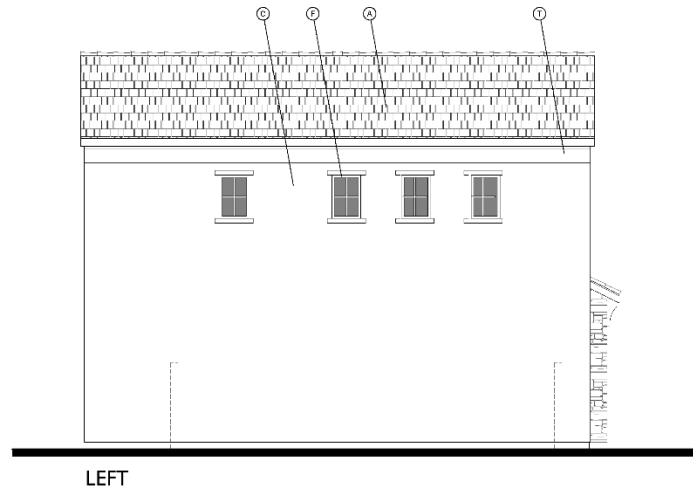
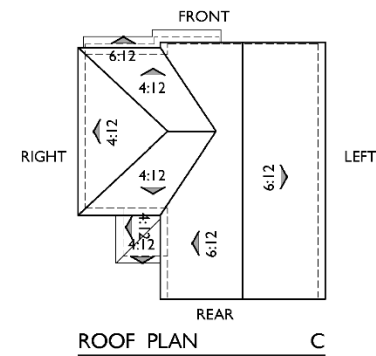
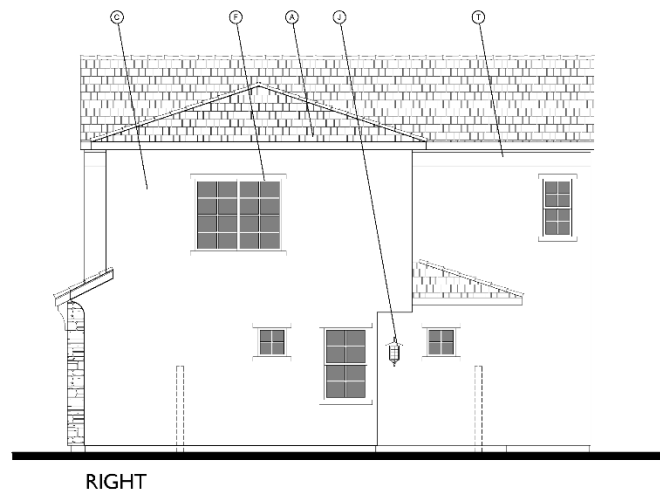
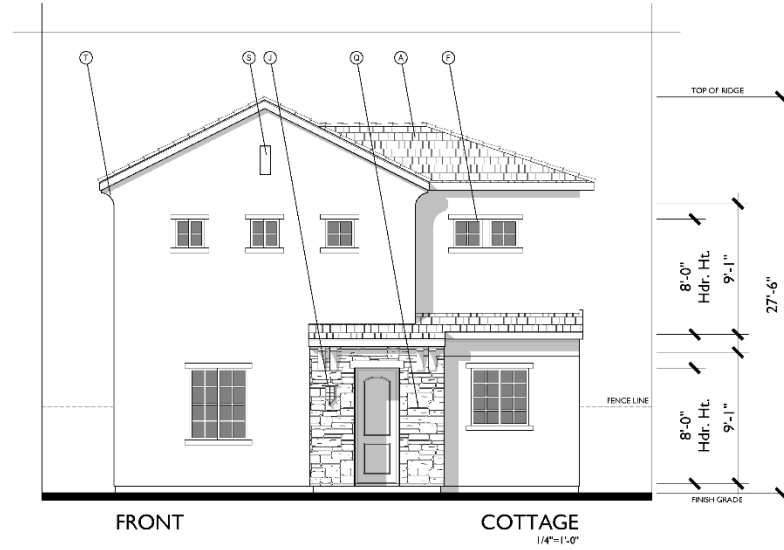


Exhibit 4-8b. Cottage Elevation (Unique Condition)- Cluster Plan 1



- MATERIAL LEGEND - C
- A. CONCRETE FLAT TILE
 - C. 16/20 SAND FINISH STUCCO
 - F. VINYL WINDOW
 - G. RECESS WINDOW
 - I. ROLL UP GARAGE DOOR
 - J. LIGHT FIXTURE
 - K. GABLE END DETAIL
 - L. WOODEN SHUTTERS
 - Q. STONE VENEER
 - S. RECESS STUCCO
 - T. FOAM EAVE



PITCH: 4:12
RAKE: 3"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE

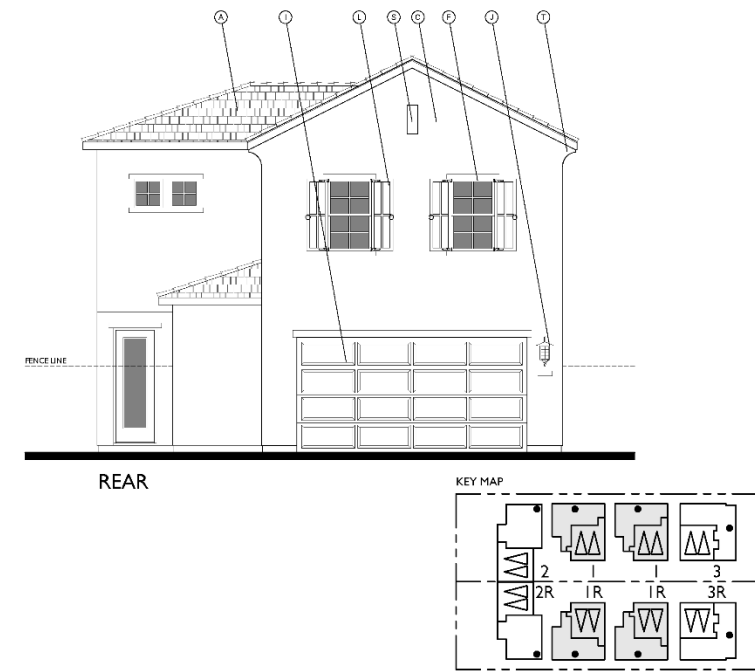
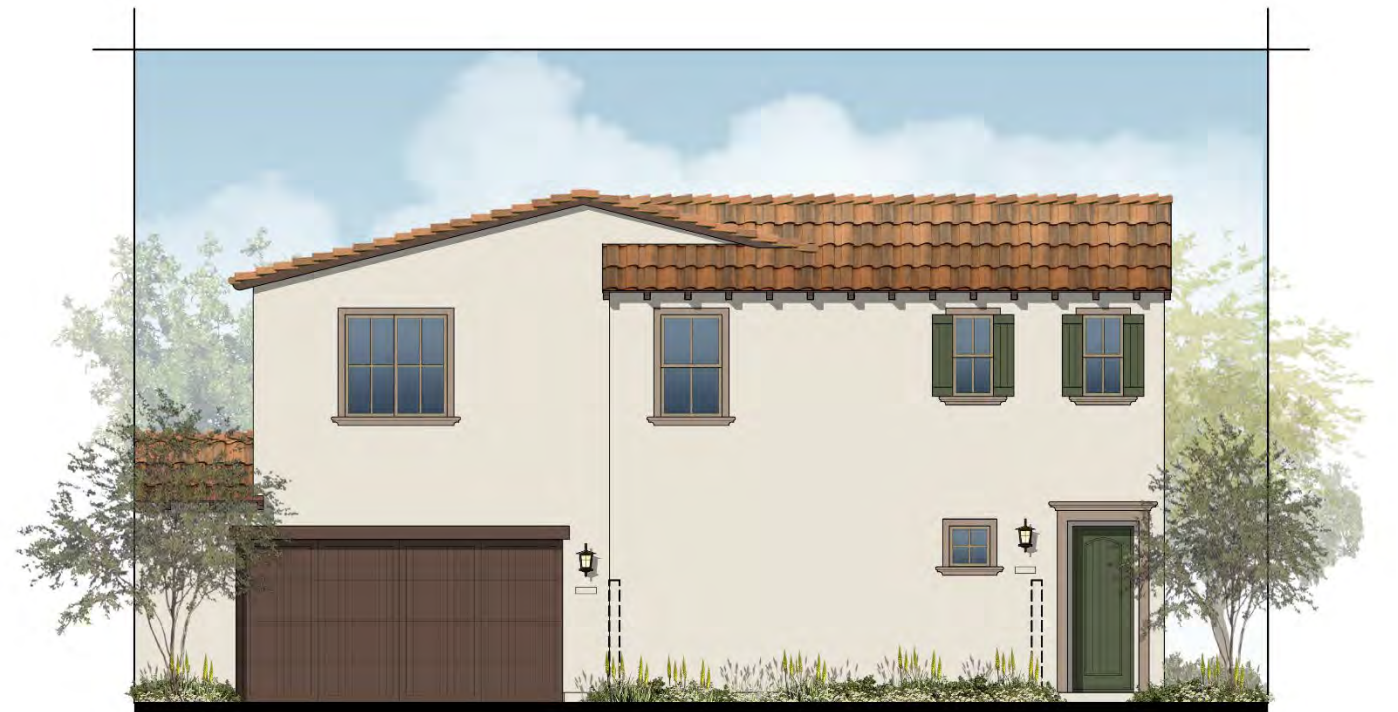


Exhibit 4-9. Cluster Product – Typical Elevations (Plan 2)

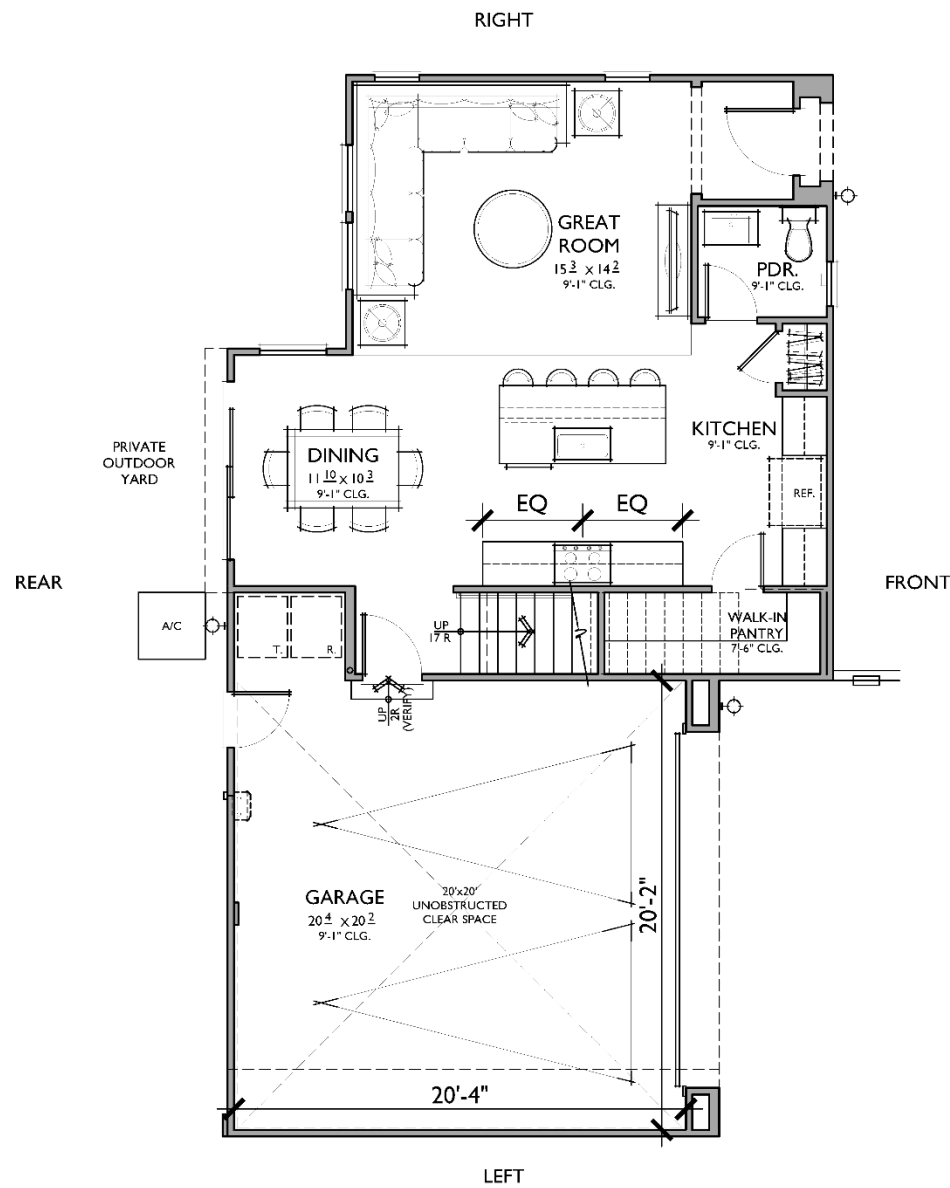
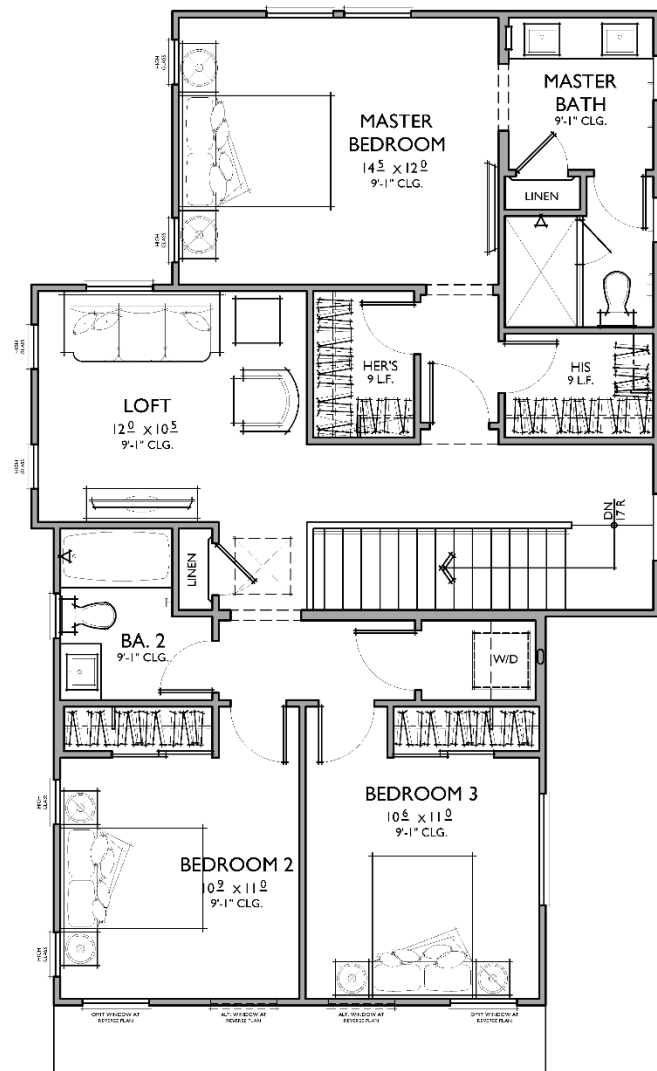


FARMHOUSE



SPANISH COLONIAL

Exhibit 4-10. Typical Floor Plan - Cluster Plan 2



PLAN 2A

1,663 SQ. FT.
 3 BEDROOMS / 2.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	649 SQ. FT.
2ND FLOOR	1,014 SQ. FT.
TOTAL	1,663 SQ. FT.
PRIVATE OUTDOOR YARD	±1,603 SQ. FT.
PRIVATE OUTDOOR DECK	N/A
2 - CAR GARAGE	474 SQ. FT.

Note: Square Footage may vary due to method of calculation

KEY MAP

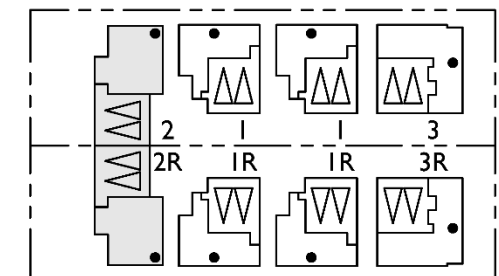
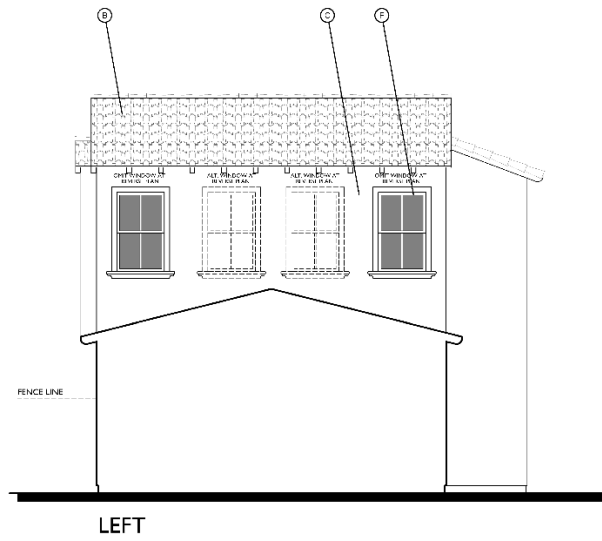
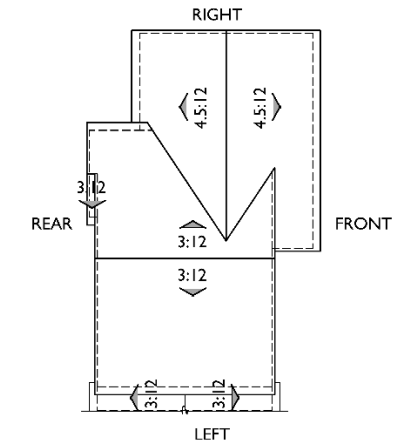
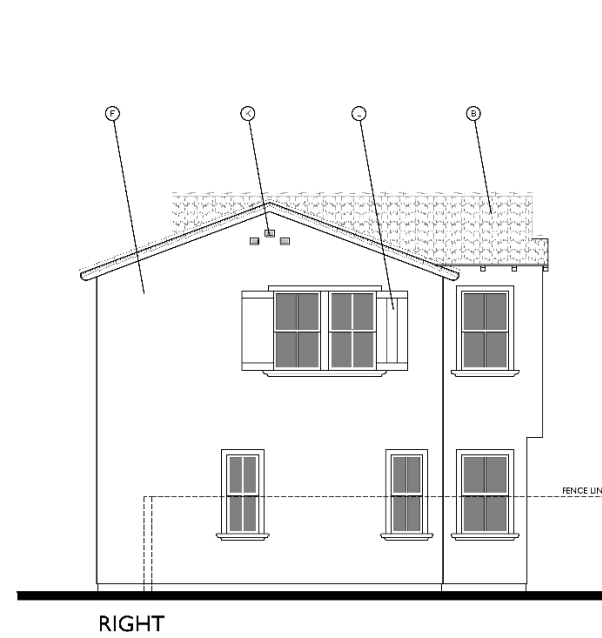
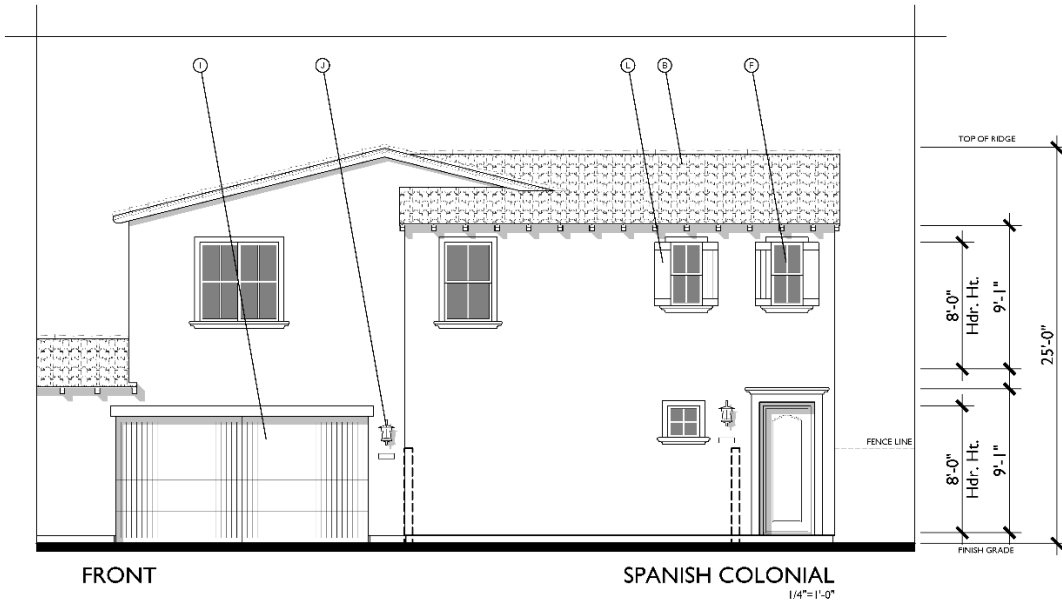


Exhibit 4-11. Spanish Colonial Elevation - Cluster Plan 2



- MATERIAL LEGEND - A**
- B. CONCRETE "S" TILE
 - C. 16/20 SAND FINISH STUCCO
 - F. VINYL WINDOW
 - G. RECESS WINDOW
 - I. ROLL UP GARAGE DOOR
 - J. LIGHT FIXTURE
 - K. GABLE END DETAIL
 - L. WOODEN SHUTTERS
 - M. WROUGHT IRON
 - N. METAL RAILING
 - R. DECORATIVE 6 X 6 TILE
 - S. RECESS STUCCO



ROOF PLAN A

PITCH: 4.5:12 UNLESS NOTED OTHERWISE
 RAKE: 4"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE 'S' TILE

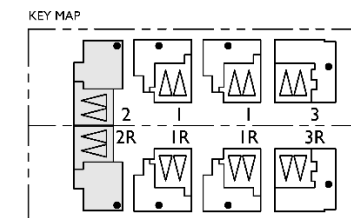
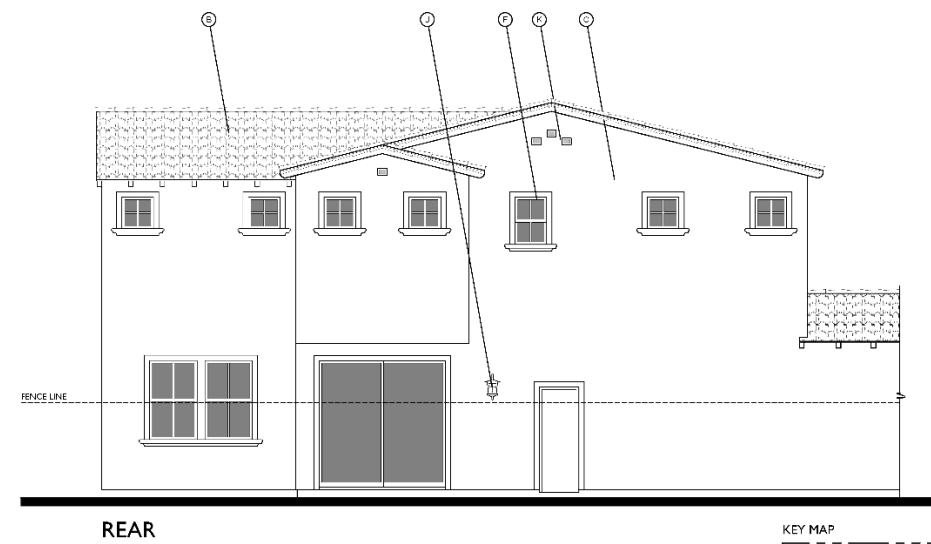
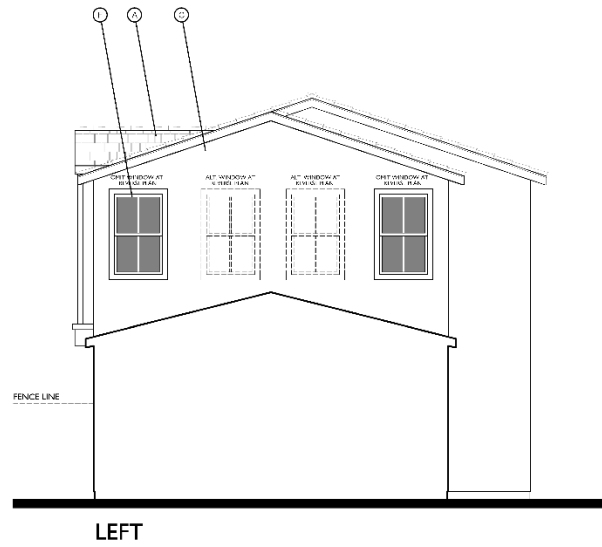
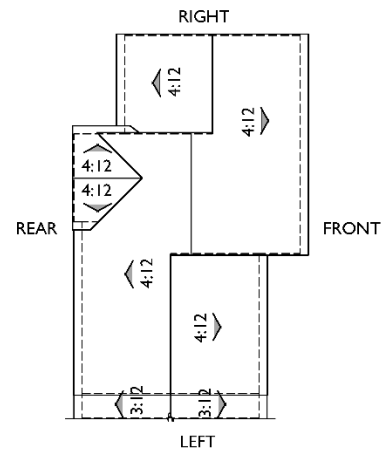
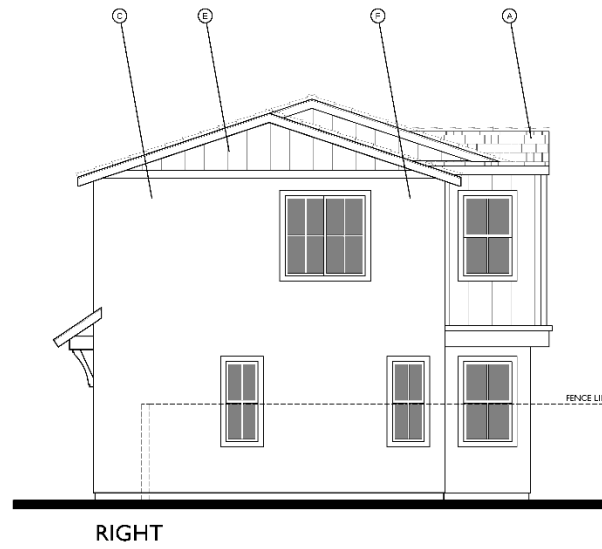
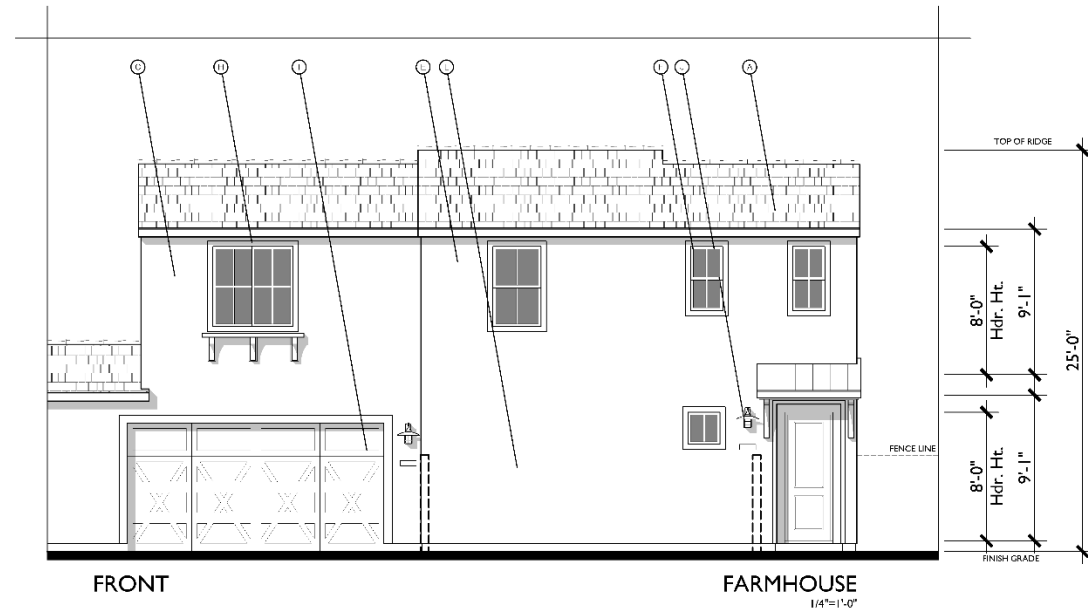


Exhibit 4-12. Farmhouse Elevation - Cluster Plan 2



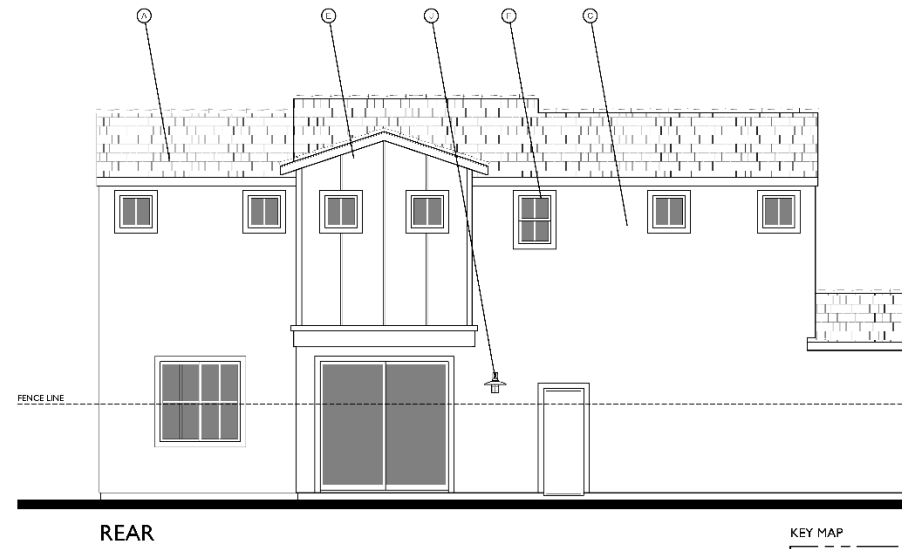
MATERIAL LEGEND - B

- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING



ROOF PLAN B

PITCH: 4:12 UNLESS NOTED OTHERWISE
RAKE: 2"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



KEY MAP

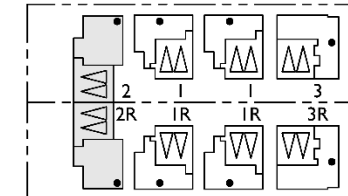


Exhibit 4-13. Cluster Product – Typical Elevations (Plan 3)

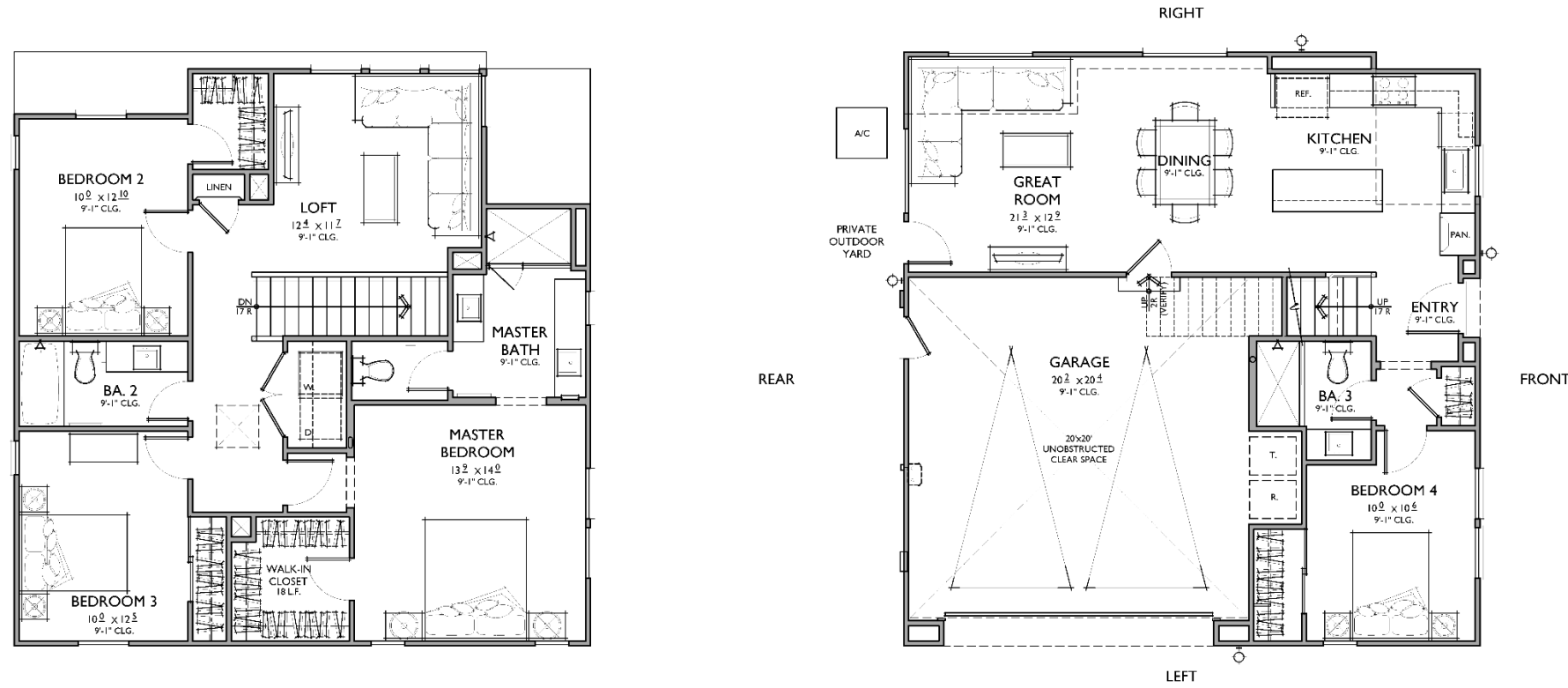


FARMHOUSE



SPANISH COLONIAL

Exhibit 4-14. Typical Floor Plan - Cluster Plan 3



PLAN 3A

1,798 SQ. FT.

4 BEDROOMS / 3 BATHS + LOFT
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	741 SQ. FT.
2ND FLOOR	1,051 SQ. FT.
TOTAL	1,798 SQ. FT.
PRIVATE OUTDOOR YARD	±212 SQ. FT.
PRIVATE OUTDOOR DECK	N/A
2 - CAR GARAGE	471 SQ. FT.

Note: Square Footage may vary due to method of calculation

KEY MAP

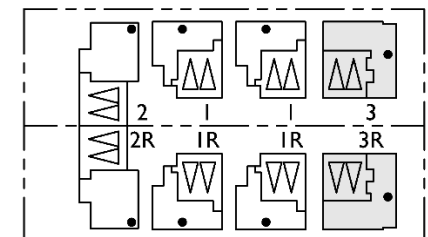
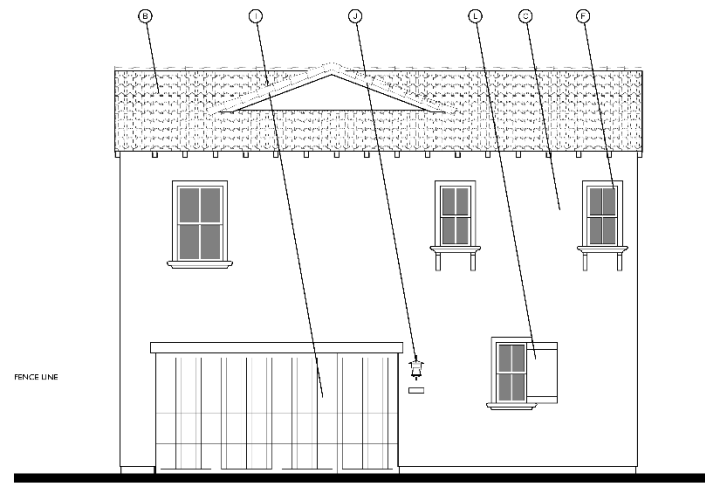


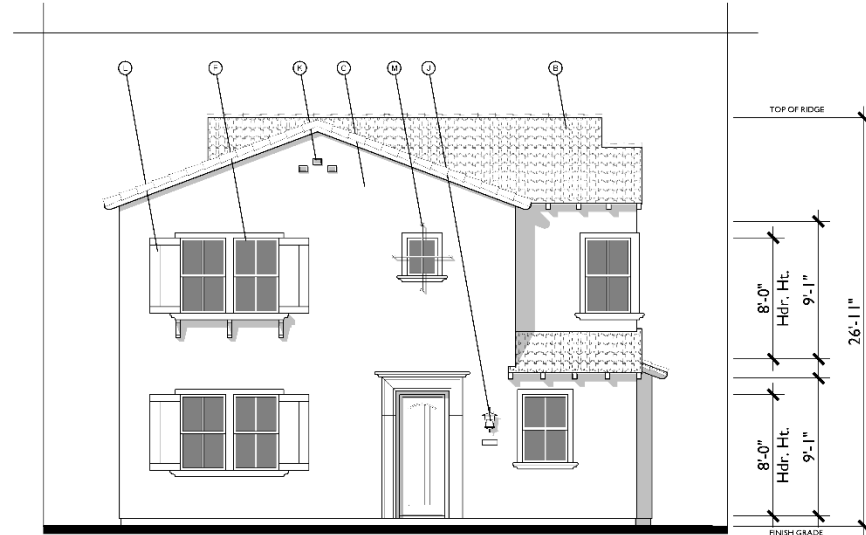
Exhibit 4-15a. Spanish Colonial Elevation - Cluster Plan 3



LEFT

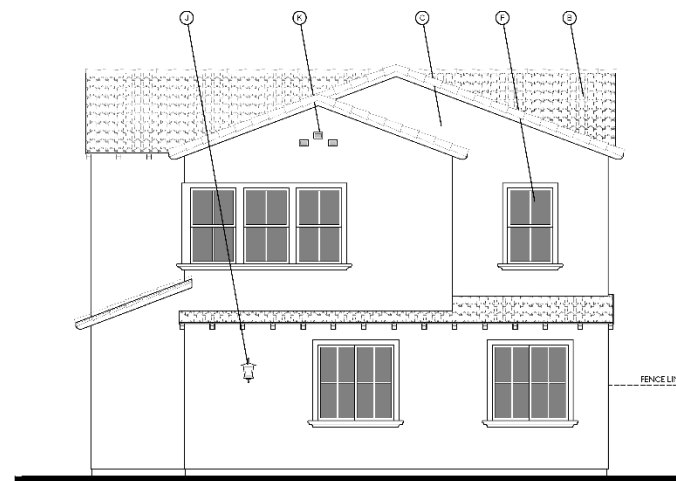
MATERIAL LEGEND - A

- B. CONCRETE 'S' TILE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- M. WROUGHT IRON
- N. METAL RAILING
- R. DECORATIVE 6 X 6 TILE
- S. RECESS STUCCO

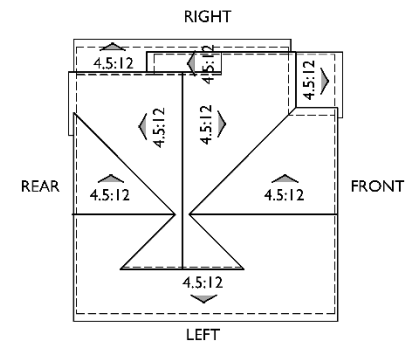


FRONT

SPANISH COLONIAL
1/4"=1'-0"

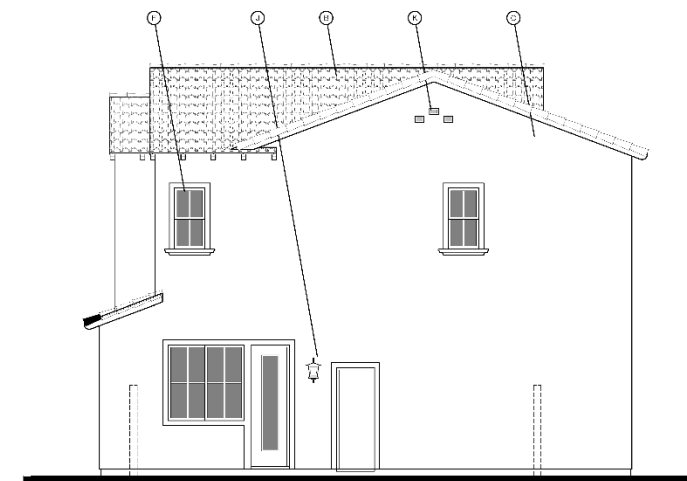


RIGHT



ROOF PLAN A

PITCH: 4.5:12 UNLESS NOTED OTHERWISE
 RAKE: 4"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE 'S' TILE



REAR

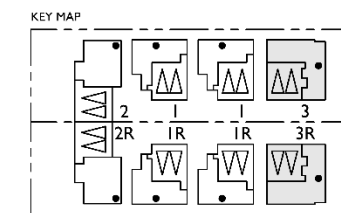
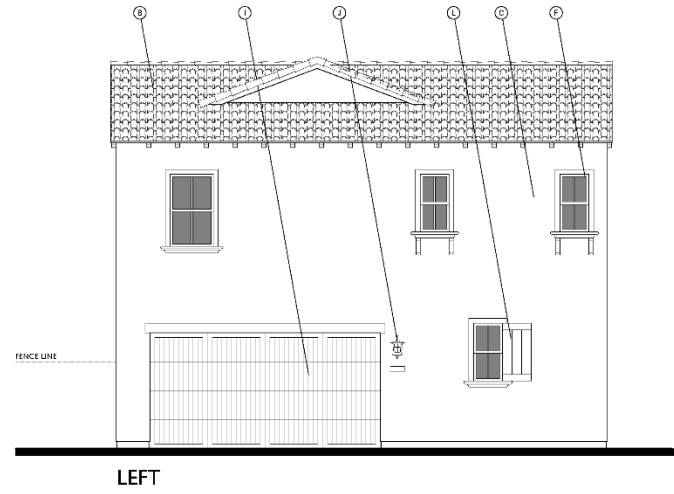
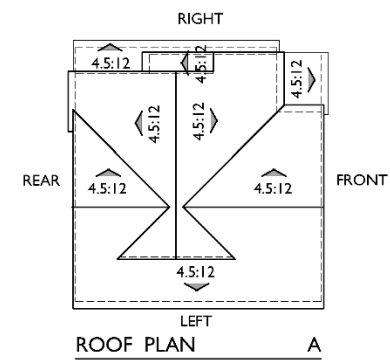
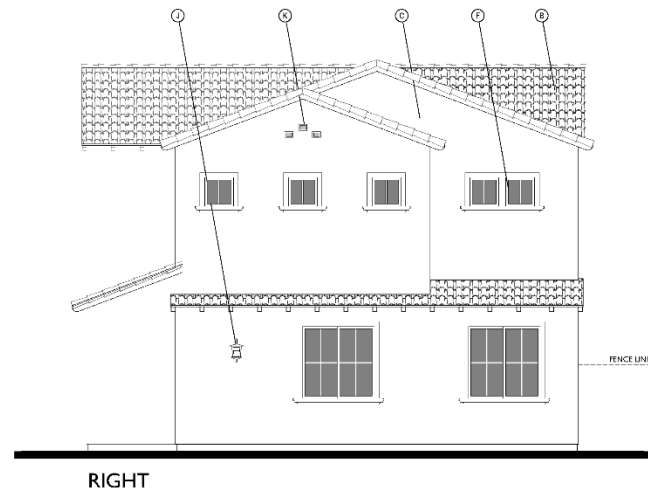
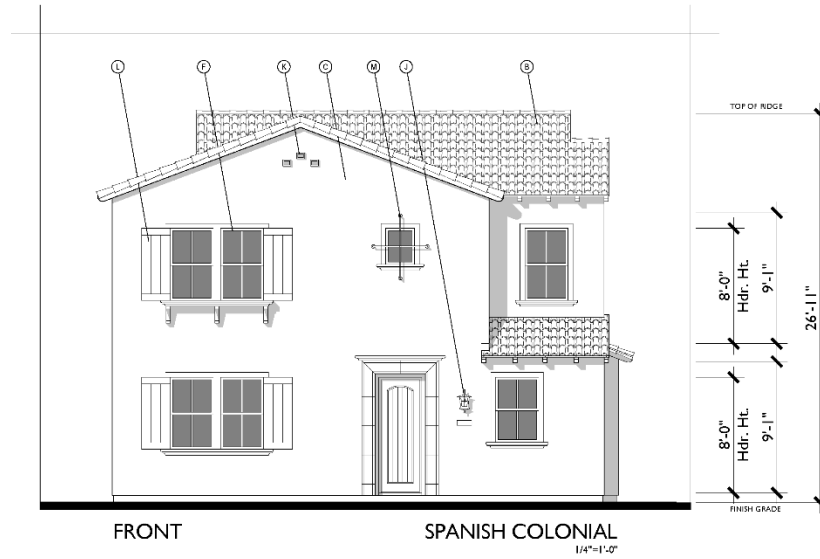


Exhibit 4-16b. Spanish Colonial Elevation (Unique Condition)- Cluster Plan 3



- MATERIAL LEGEND - A
- B. CONCRETE 'S' TILE
 - C. 16/20 SAND FINISH STUCCO
 - F. VINYL WINDOW
 - G. RECESS WINDOW
 - I. ROLL UP GARAGE DOOR
 - J. LIGHT FIXTURE
 - K. GABLE END DETAIL
 - L. WOODEN SHUTTERS
 - M. WROUGHT IRON
 - N. METAL RAILING
 - R. DECORATIVE 6 X 6 TILE
 - S. RECESS STUCCO



PITCH: 4.5:12
RAKE: 4"
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE

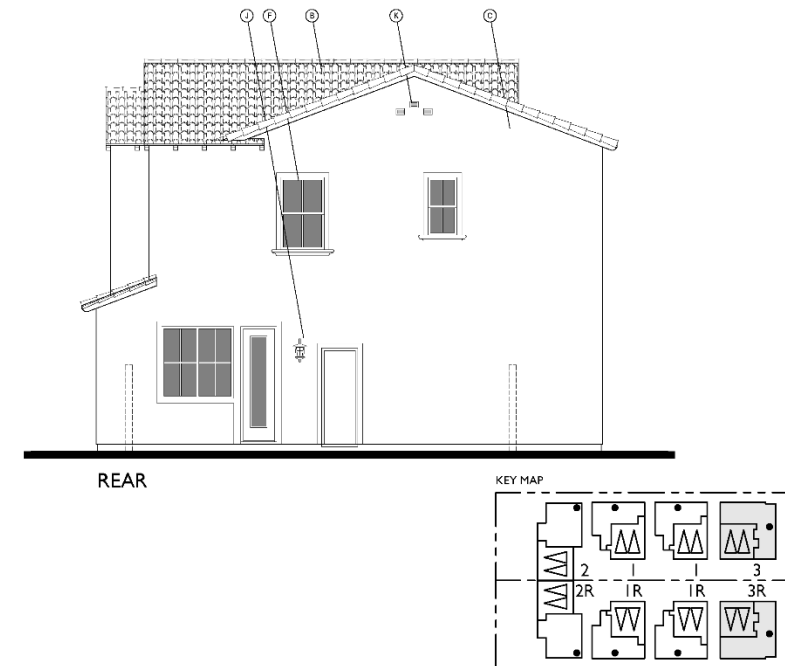
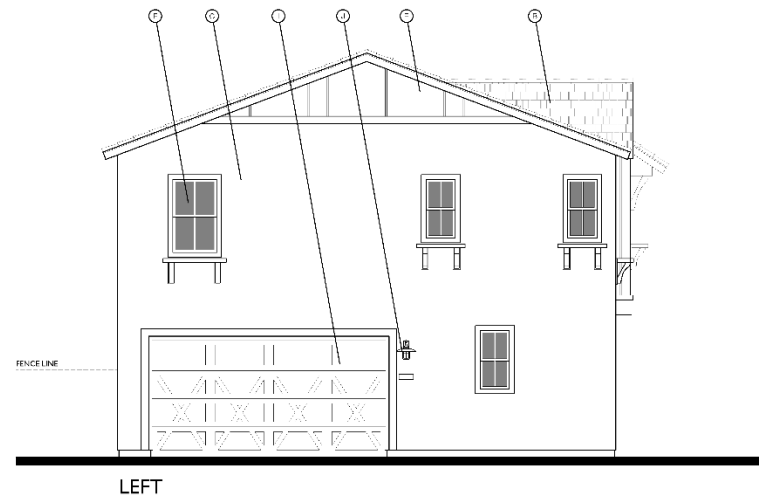


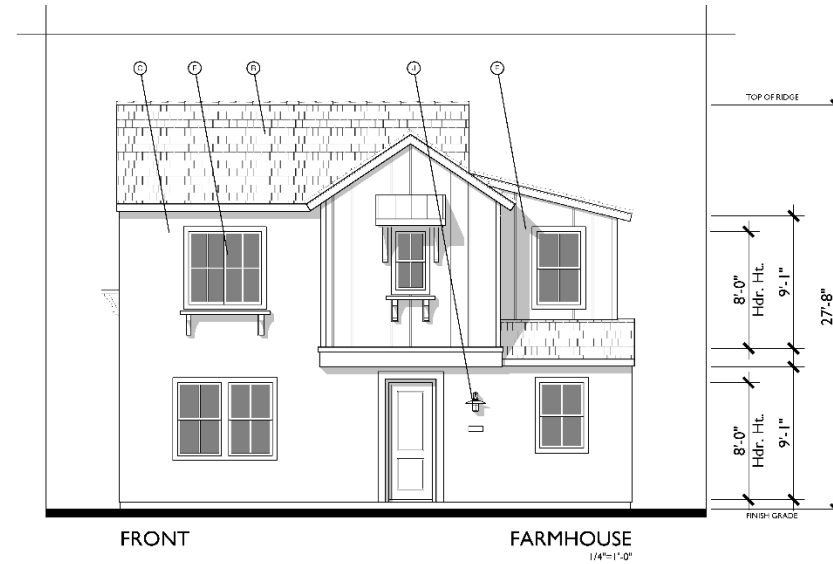
Exhibit 4-17. Farmhouse Elevation - Cluster Plan 3



LEFT

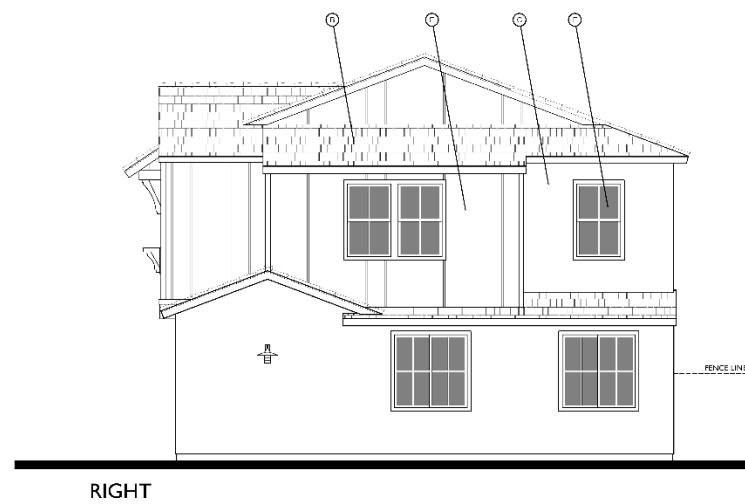
MATERIAL LEGEND - B

- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING

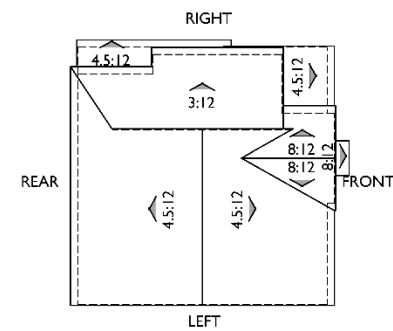


FRONT

FARMHOUSE
1/4"=1'-0"

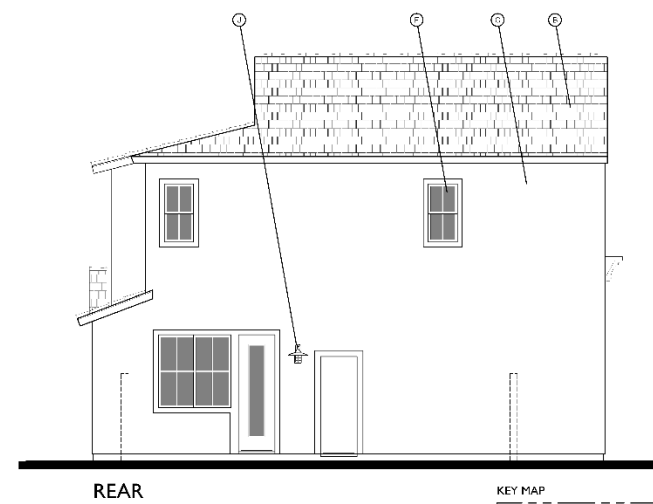


RIGHT



ROOF PLAN B

PITCH: 4.5:12 UNLESS NOTED OTHERWISE
 RAKE: 2"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE FLAT TILE



REAR

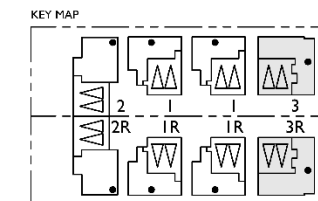


Exhibit 4-18. Townhome Product – Typical Elevations (5-Plex)

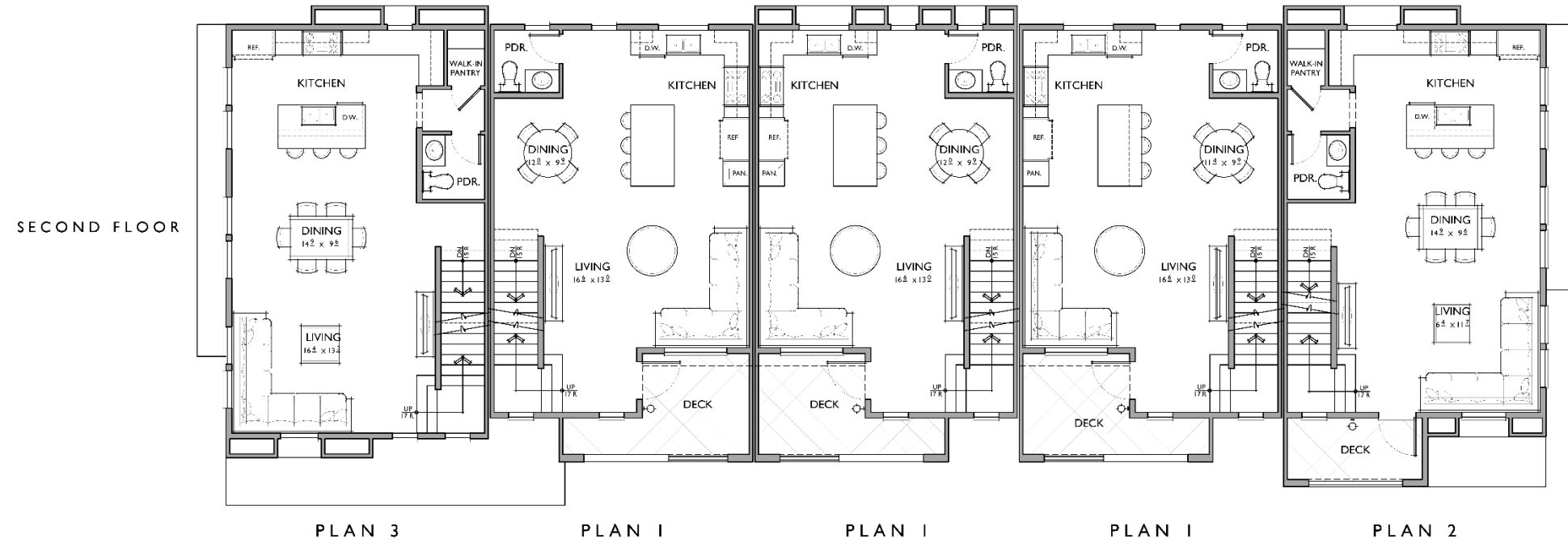


SPANISH COLONIAL



FARMHOUSE

Exhibit 4-19. Typical Floor Plan - Townhome (5-Plex) – 1st and 2nd Floors



PLAN 1
1310 SQ. FT.
2 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

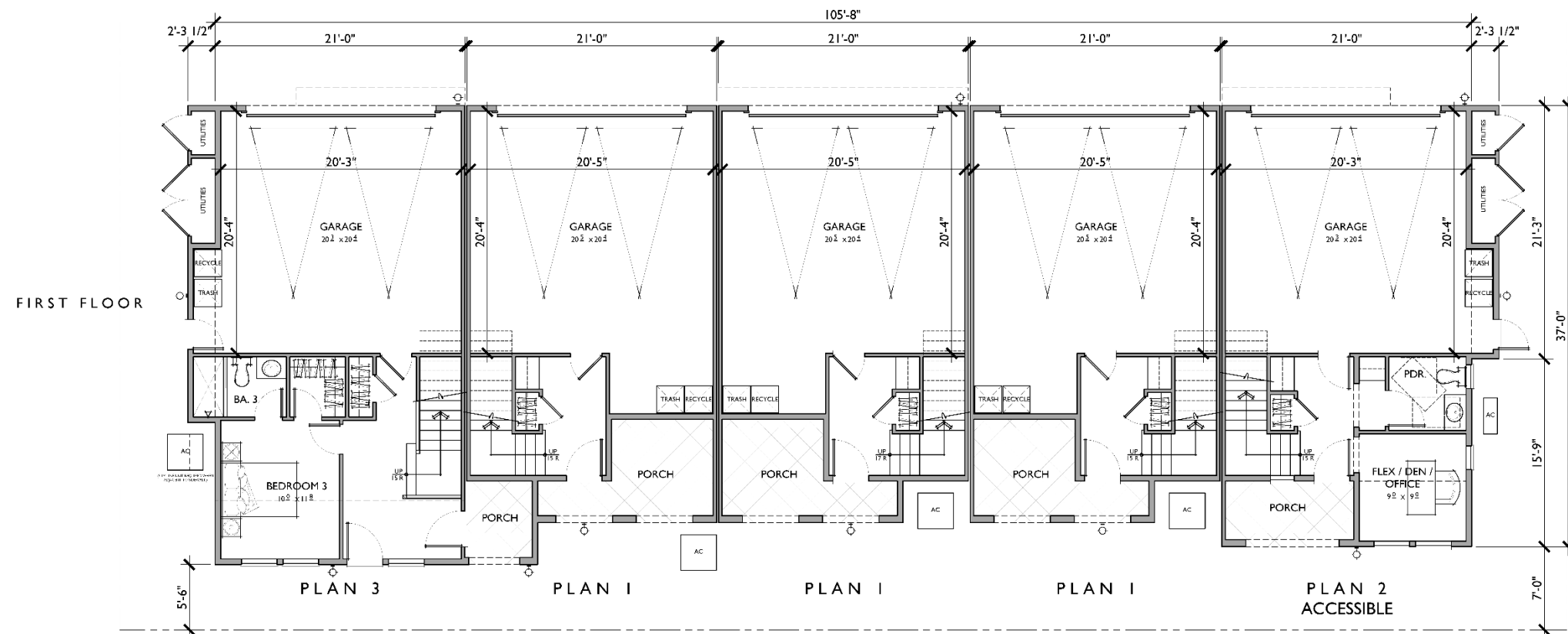
FLOOR AREA TABLE	
1ST FLOOR	129 SQ. FT.
2ND FLOOR	616 SQ. FT.
3RD FLOOR	564 SQ. FT.
TOTAL	1310 SQ. FT.
2 - CAR GARAGE	486 SQ. FT.
PORCH	100 SQ. FT.
DECK	100 SQ. FT.

Note: Square Footage may vary due to method of calculation

PLAN 2
1495 SQ. FT.
2 BEDROOMS / 3 BATHS + DEN
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	279 SQ. FT.
2ND FLOOR	662 SQ. FT.
3RD FLOOR	554 SQ. FT.
TOTAL	1495 SQ. FT.
2 - CAR GARAGE	459 SQ. FT.
PORCH	61 SQ. FT.
DECK	61 SQ. FT.

Note: Square Footage may vary due to method of calculation



PLAN 3
1721 SQ. FT.
3 BEDROOMS / 3.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	385 SQ. FT.
2ND FLOOR	697 SQ. FT.
3RD FLOOR	639 SQ. FT.
TOTAL	1721 SQ. FT.
2 - CAR GARAGE	458 SQ. FT.
PORCH	43 SQ. FT.

Note: Square Footage may vary due to method of calculation

Exhibit 4-20. Typical Floor Plan - Townhome (5-Plex) – 3rd Floor

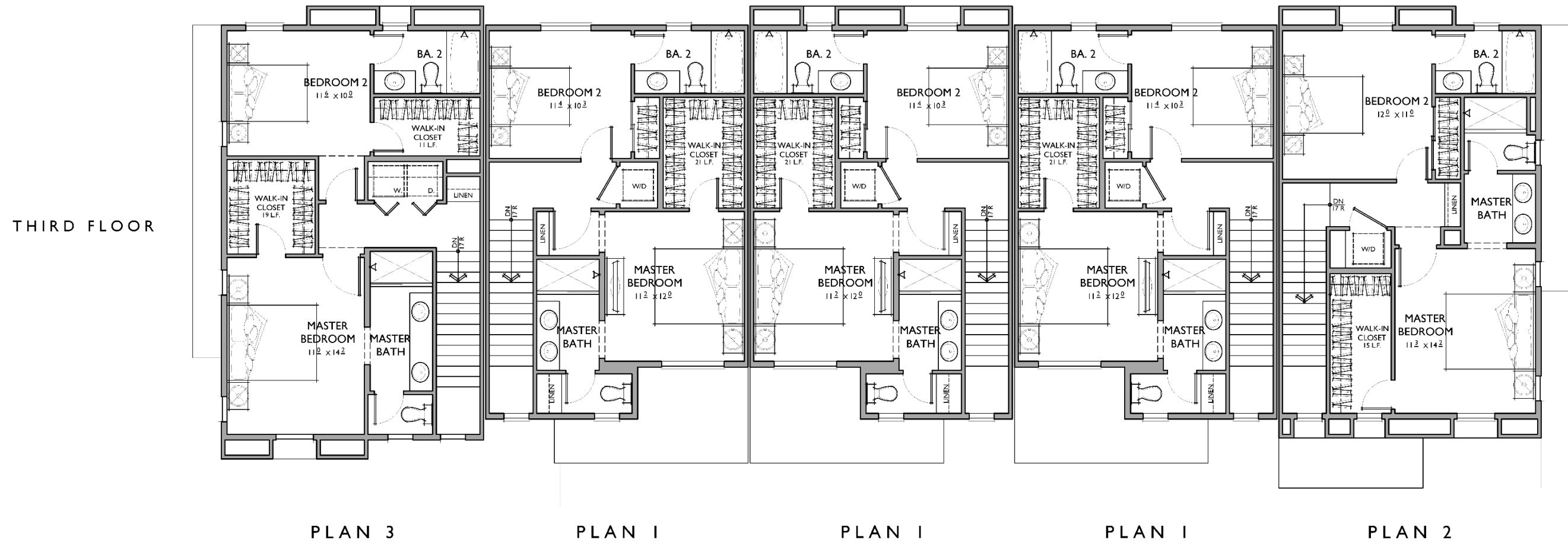


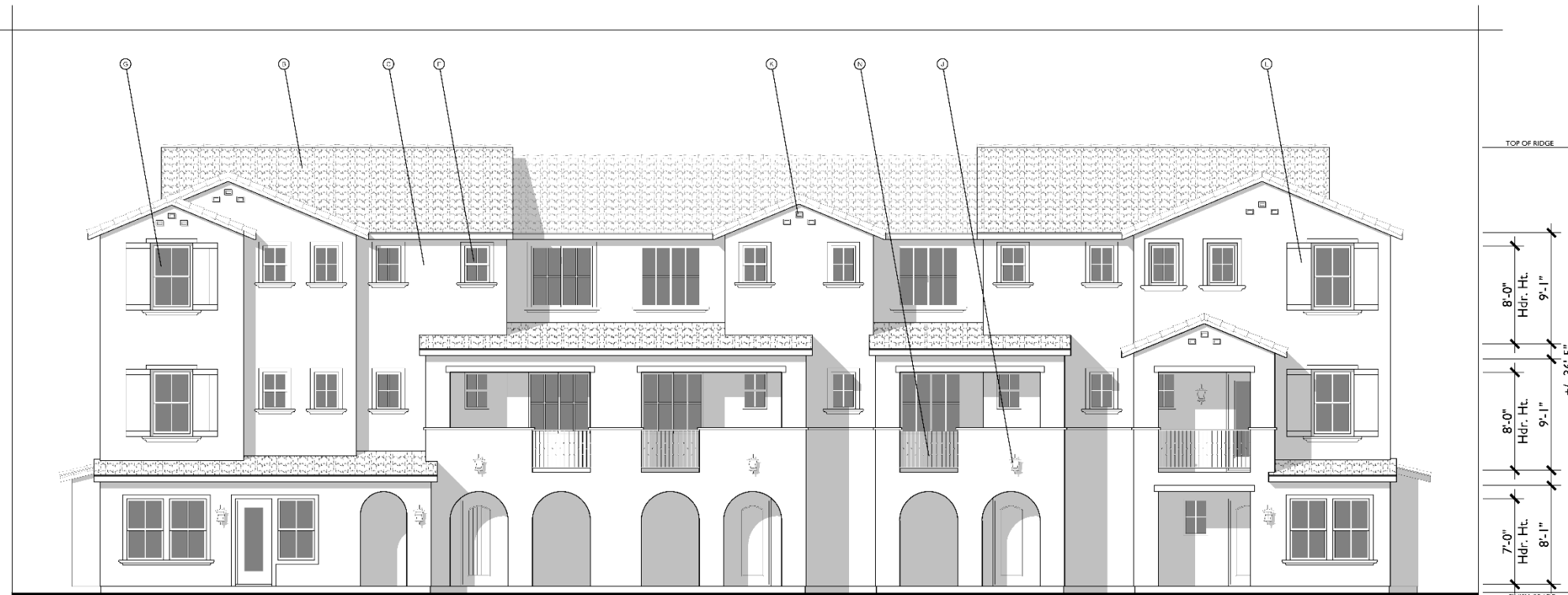
Exhibit 4-21. Spanish Colonial Elevation - Townhome (5-Plex) – Front and Rear

MATERIAL LEGEND - A

- B. CONCRETE "S" TILE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- M. WROUGHT IRON
- N. METAL RAILING
- R. DECORATIVE 6 X 6 TILE
- S. RECESS STUCCO



REAR



FRONT

SPANISH COLONIAL

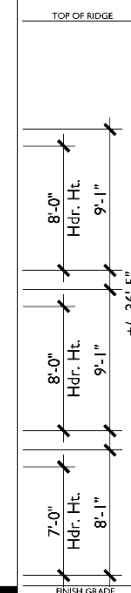
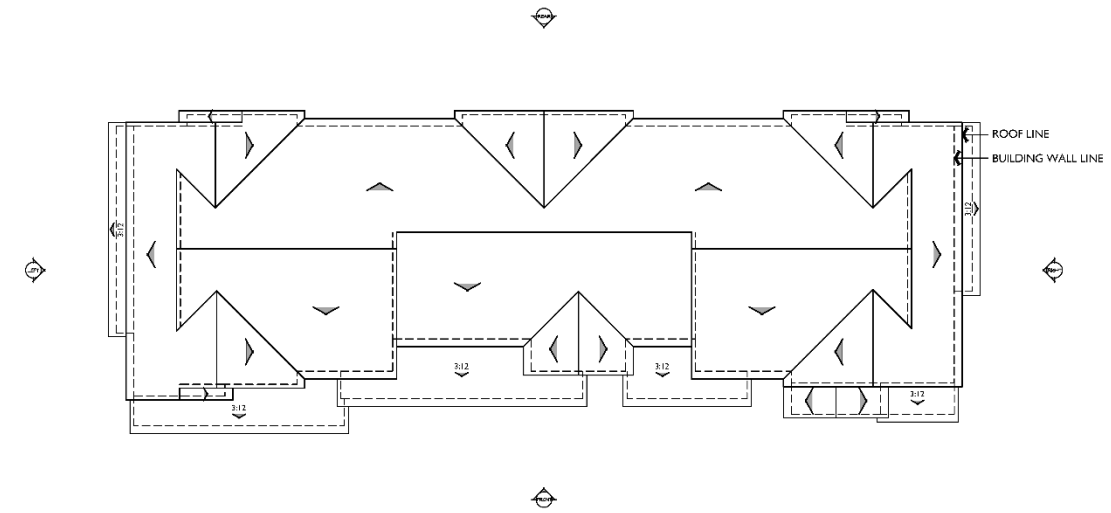
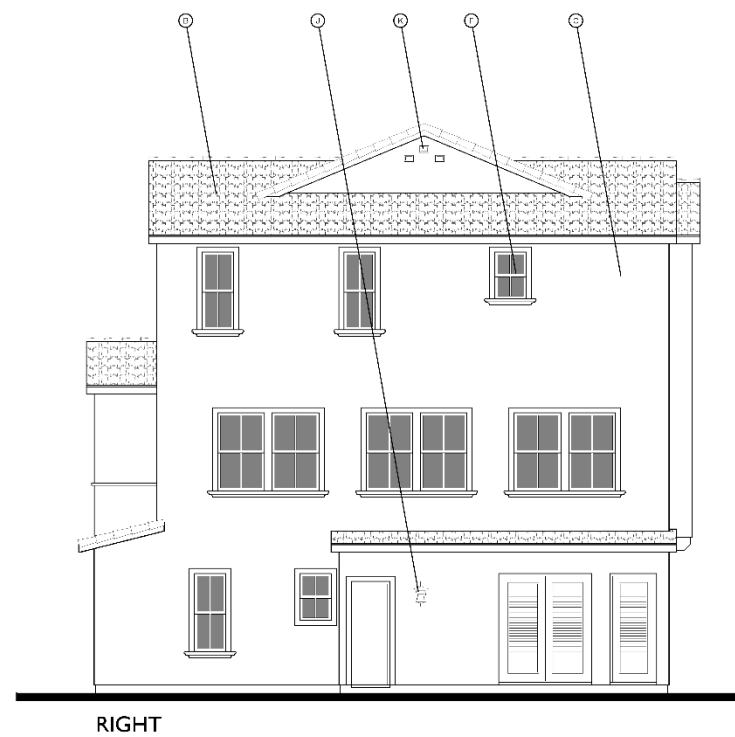
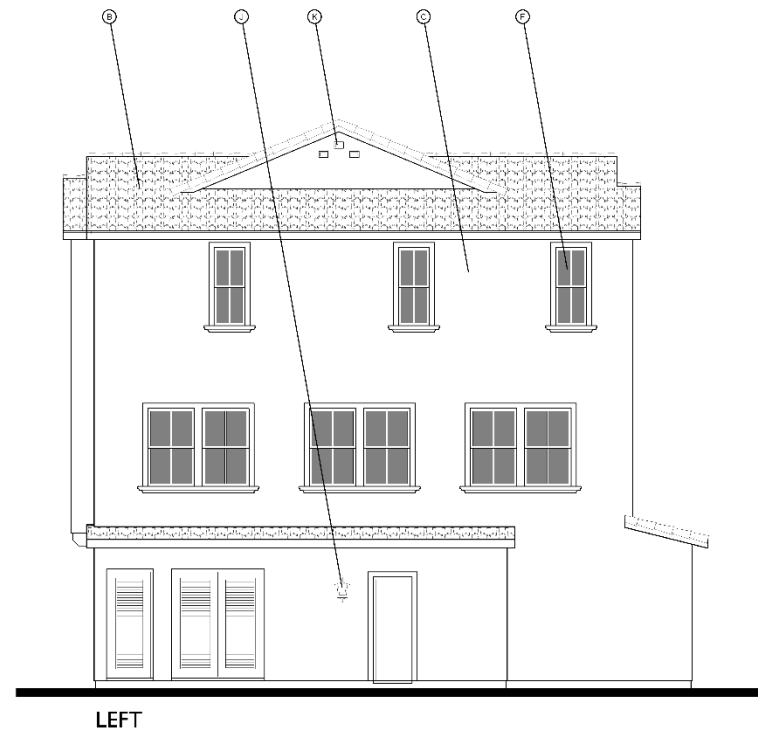


Exhibit 4-22. Spanish Colonial Elevation - Townhome (5-Plex) – Side

MATERIAL LEGEND - A

- B. CONCRETE 'S' TILE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- M. WROUGHT IRON
- N. METAL RAILING
- R. DECORATIVE 6 X 6 TILE
- S. RECESS STUCCO



ROOF PLAN A
 PITCH: 5:12 U.N.O.
 RAKE: 6"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE 'S' TILE

Exhibit 4-23. Farmhouse Elevation - Townhome (5-Plex) – Front and Rear

MATERIAL LEGEND - B

- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING



Exhibit 4-24. Farmhouse Elevation - Townhome (5-Plex) – Side

MATERIAL LEGEND - B

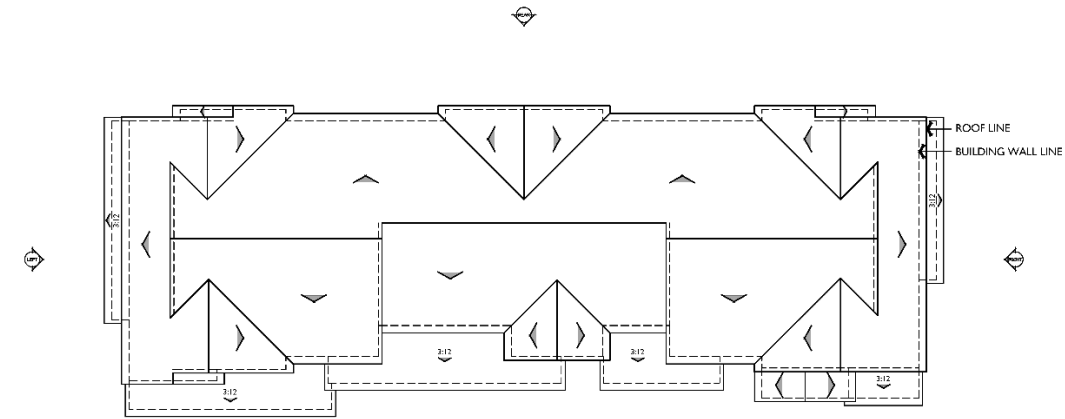
- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING



LEFT



RIGHT



ROOF PLAN B

PITCH: 8:12 U.N.O.
 RAKE: 6"
 EAVE: 12"
 ROOF MATERIAL: FLAT CONCRETE TILE

Exhibit 4-25. Townhome Product – Typical Elevations (6-Plex)

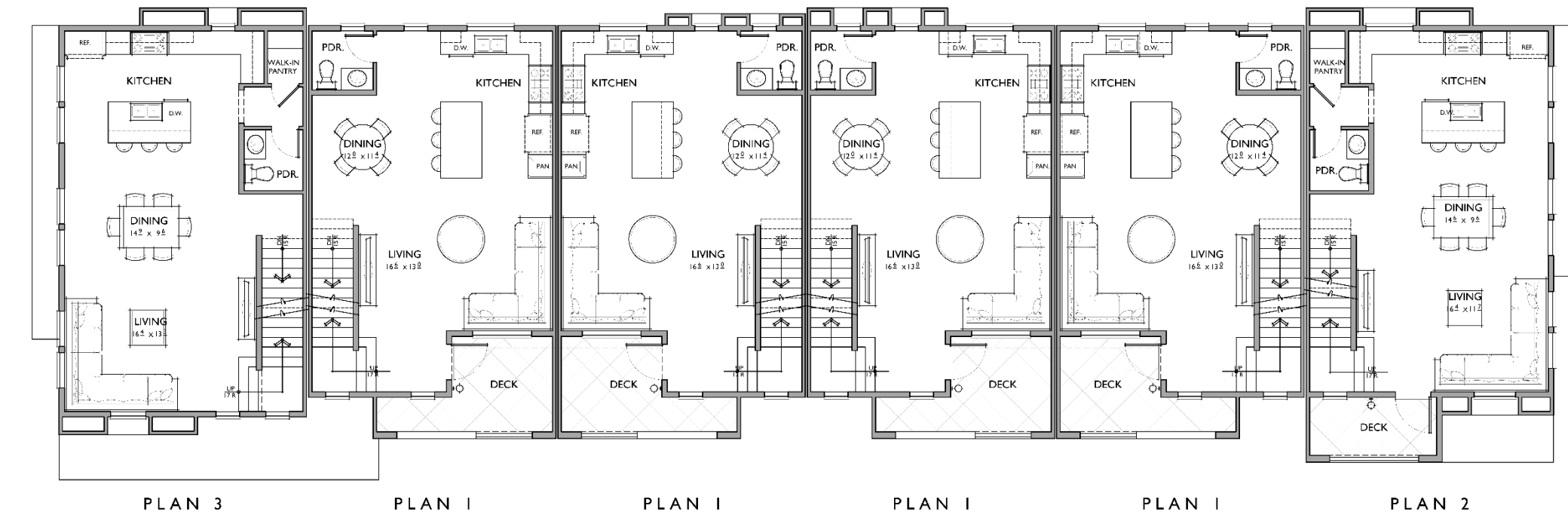


SPANISH COLONIAL



FARMHOUSE

Exhibit 4-26. Typical Floor Plan - Townhome (6-Plex) – 1st and 2nd Floors



PLAN 1
1310 SQ. FT.
2 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	129 SQ. FT.
2ND FLOOR	616 SQ. FT.
3RD FLOOR	564 SQ. FT.
TOTAL	1310 SQ. FT.
2 - CAR GARAGE	486 SQ. FT.
PORCH	100 SQ. FT.
DECK	100 SQ. FT.

Note: Square Footage may vary due to method of calculation

PLAN 2
1495 SQ. FT.
2 BEDROOMS / 3 BATHS + DEN
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	279 SQ. FT.
2ND FLOOR	662 SQ. FT.
3RD FLOOR	554 SQ. FT.
TOTAL	1495 SQ. FT.
2 - CAR GARAGE	459 SQ. FT.
PORCH	61 SQ. FT.
DECK	61 SQ. FT.

Note: Square Footage may vary due to method of calculation

PLAN 3
1721 SQ. FT.
3 BEDROOMS / 3.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	385 SQ. FT.
2ND FLOOR	697 SQ. FT.
3RD FLOOR	639 SQ. FT.
TOTAL	1721 SQ. FT.
2 - CAR GARAGE	458 SQ. FT.
PORCH	43 SQ. FT.

Note: Square Footage may vary due to method of calculation

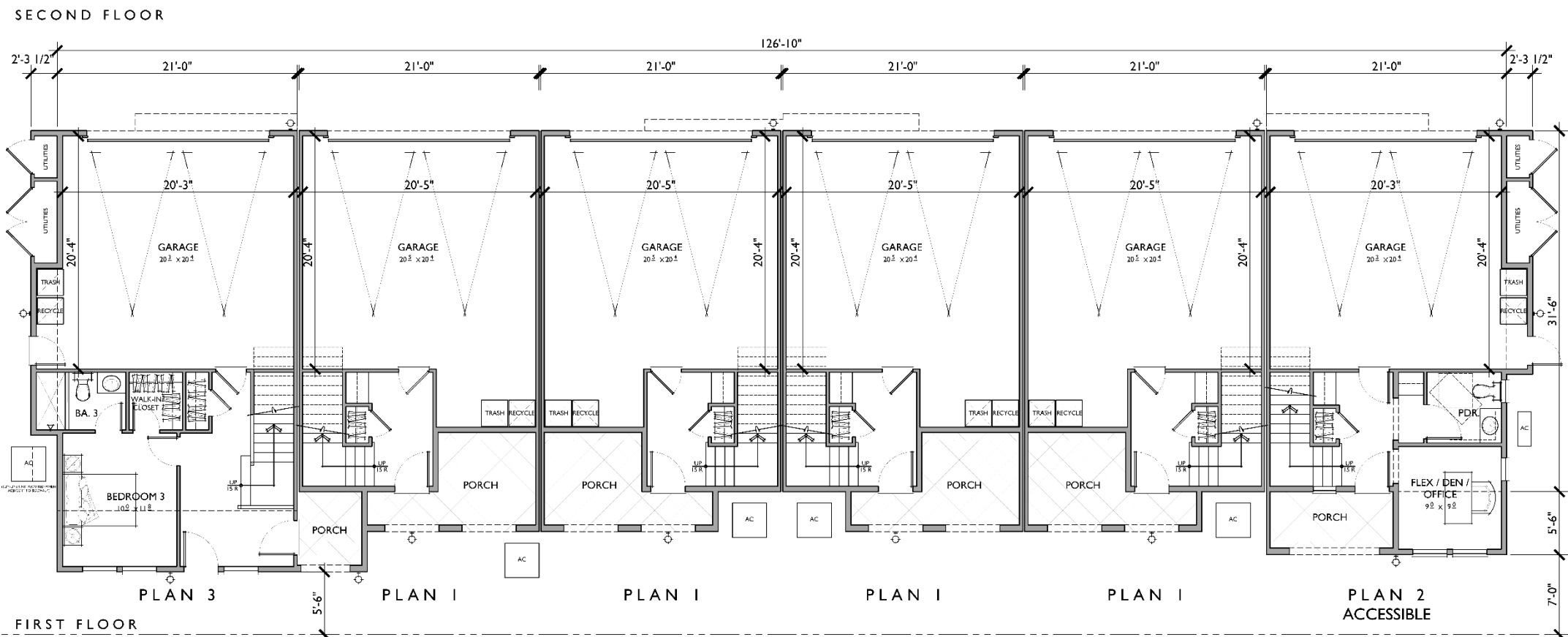


Exhibit 4-27. Typical Floor Plan - Townhome (6-Plex) – 3rd Floor

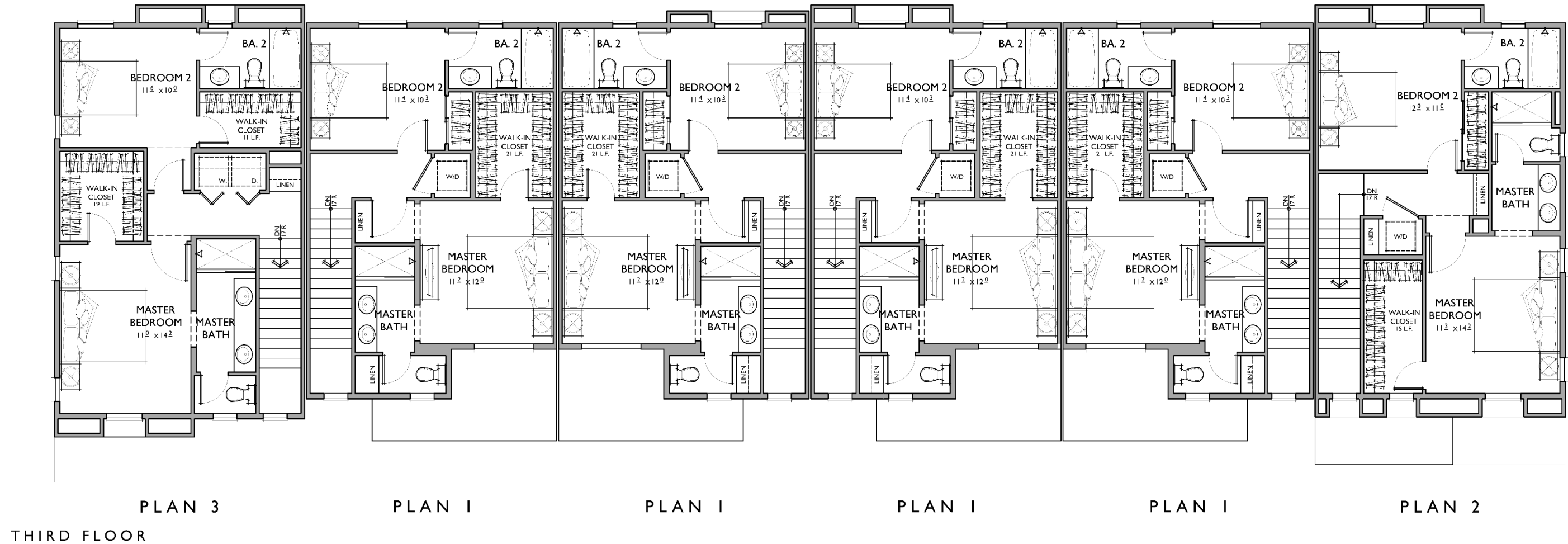
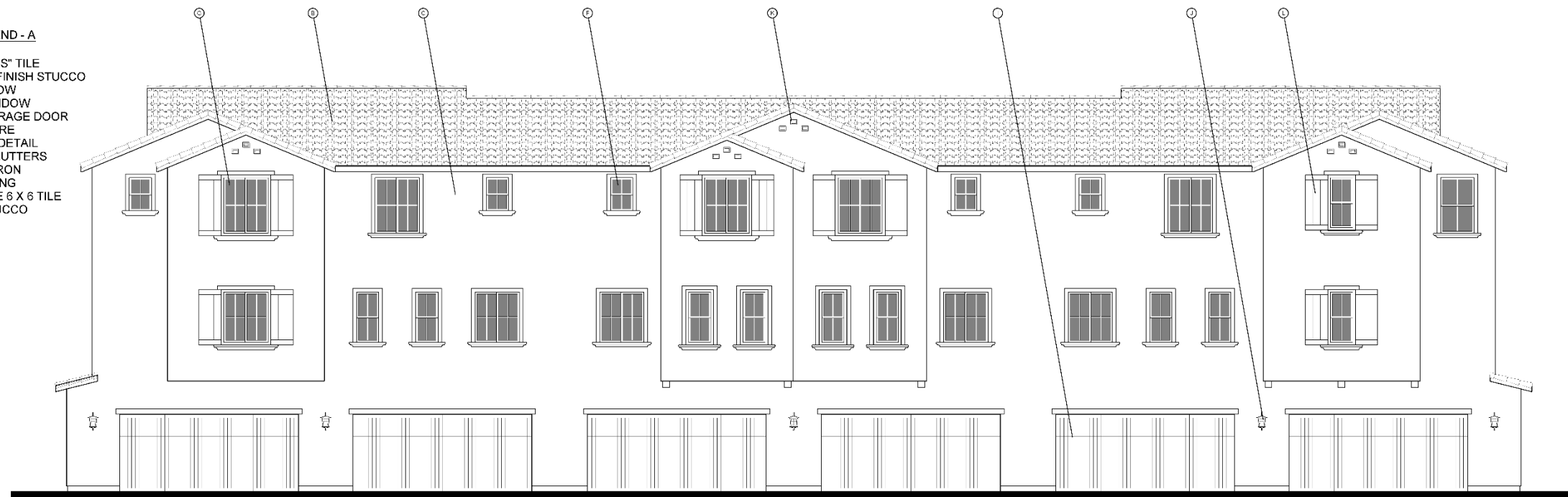


Exhibit 4-28. Spanish Colonial Elevation - Townhome (6-Plex) – Front and Rear

MATERIAL LEGEND - A

- B. CONCRETE "S" TILE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- M. WROUGHT IRON
- N. METAL RAILING
- R. DECORATIVE 6 X 6 TILE
- S. RECESS STUCCO



REAR



FRONT

SPANISH COLONIAL

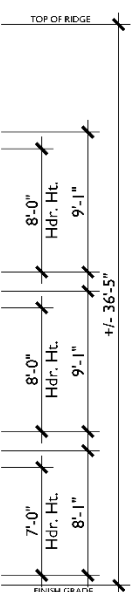
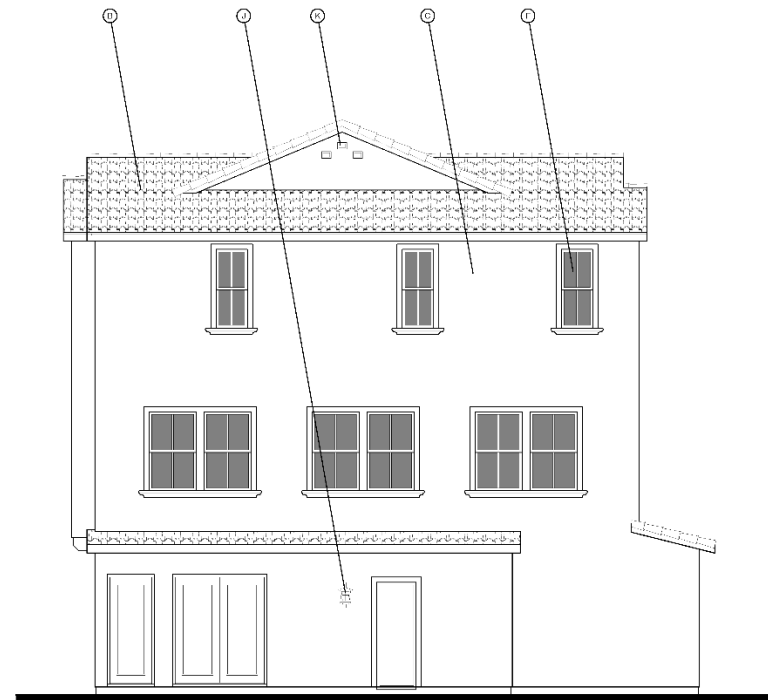


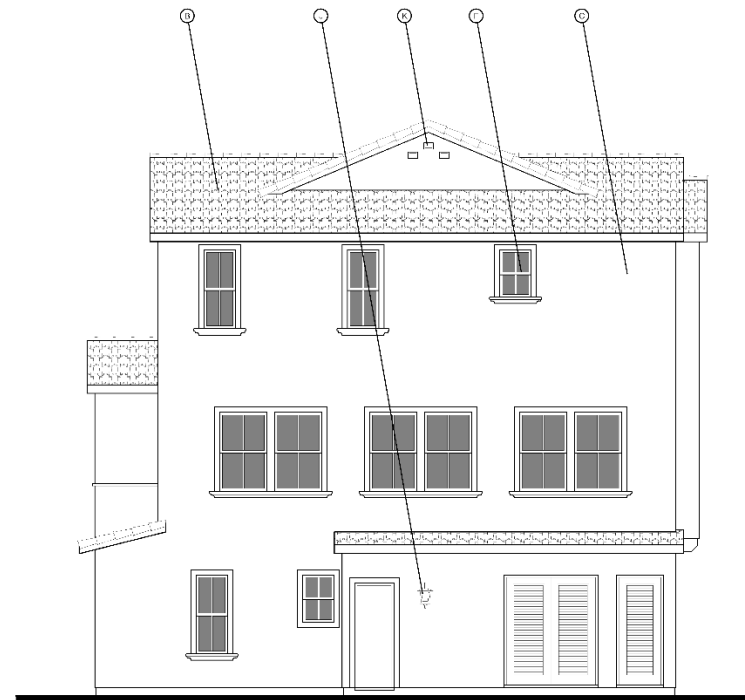
Exhibit 4-29. Spanish Colonial Elevation - Townhome (6-Plex) – Side

MATERIAL LEGEND - A

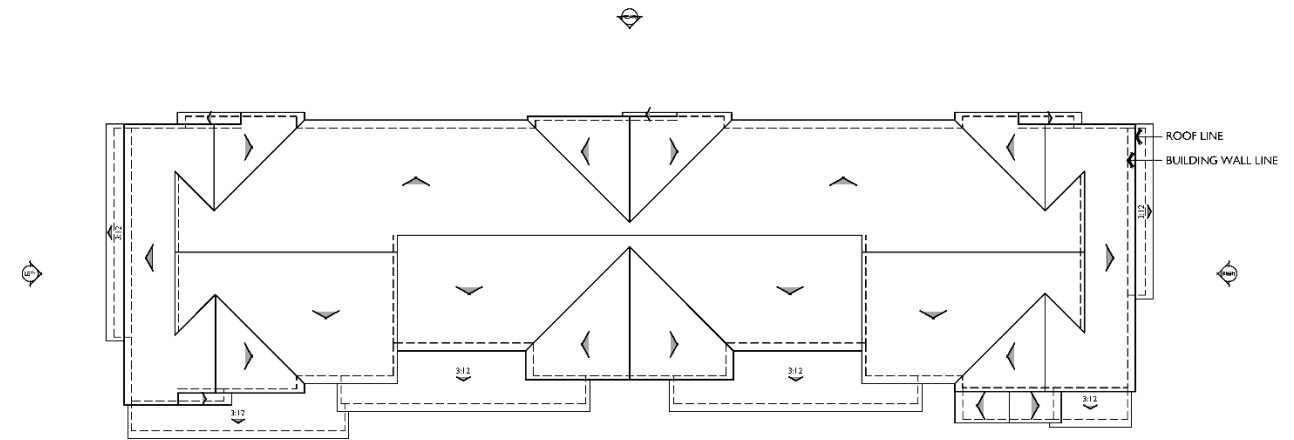
- B. CONCRETE 'S' TILE
- C. 16/20 SAND FINISH STUCCO
- F. VINYL WINDOW
- G. RECESS WINDOW
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- M. WROUGHT IRON
- N. METAL RAILING
- R. DECORATIVE 6 X 6 TILE
- S. RECESS STUCCO



LEFT



RIGHT



ROOF PLAN A

PITCH: 5:12 U.N.O.
 RAKE: 6"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE 'S' TILE

Exhibit 4-30. Farmhouse Elevation - Townhome (6-Plex) – Front and Rear

MATERIAL LEGEND - B

- A. COMPOSITION SHINGLE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING



REAR



FRONT

FARMHOUSE

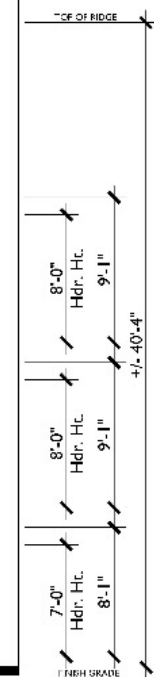
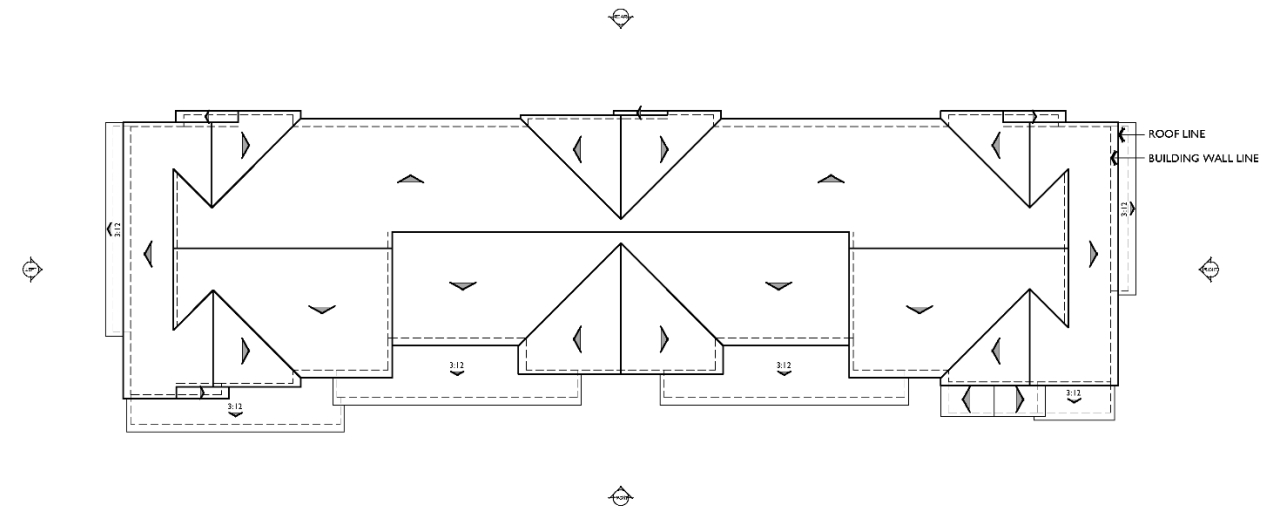
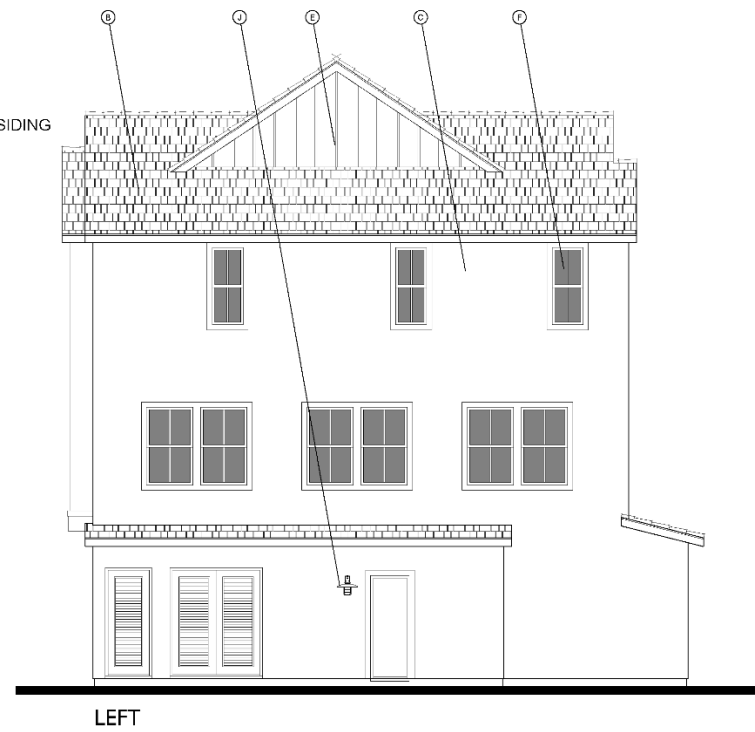


Exhibit 4-31. Farmhouse Elevation - Townhome (6-Plex) – Side

MATERIAL LEGEND - B

- A. CONCRETE FLAT TILE
- C. 16/20 SAND FINISH STUCCO
- E. BOARD AND BATT VERTICAL SIDING
- F. VINYL WINDOW
- H. CEMENTITIOUS TRIM
- I. ROLL UP GARAGE DOOR
- J. LIGHT FIXTURE
- K. GABLE END DETAIL
- L. WOODEN SHUTTERS
- O. WOODEN RAILING



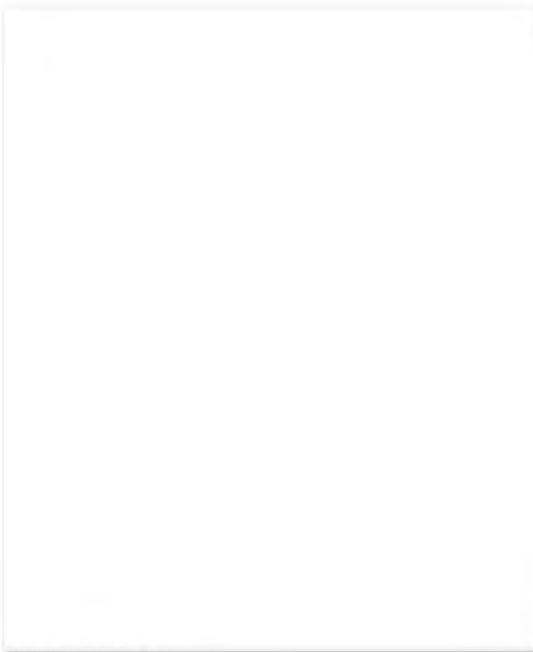
ROOF PLAN B

PITCH: 8:12 U.N.O.
 RAKE: 6"
 EAVE: 12"
 ROOF MATERIAL: CONCRETE FLAT TILE

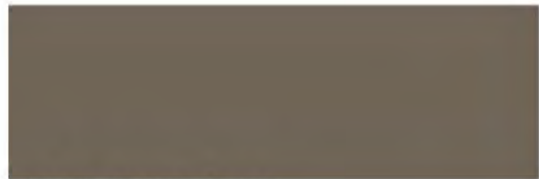
Exhibit 4-32 Proposed Color/Materials – Cluster Scheme 1 ('A' Spanish Colonial)



'S' ROOF



BASE STUCCO



FASCIA, EAVES, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



TRIM

Exhibit 4-33. Proposed Color/Materials – Cluster Scheme 2 ('A' Spanish Colonial)



'S' ROOF



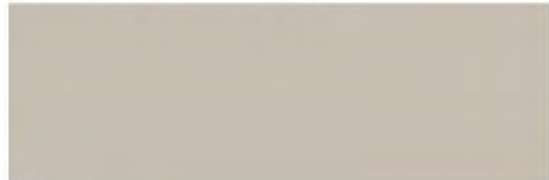
BASE STUCCO



FASCIA, EAVES, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



TRIM

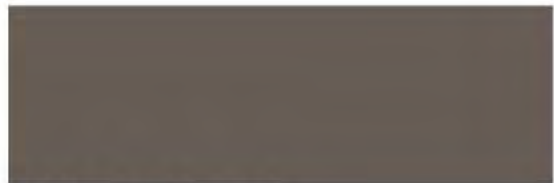
Exhibit 4-34. Proposed Color/Materials – Cluster Scheme 3 ('A' Spanish Colonial)



'S' ROOF



BASE STUCCO



FASCIA, EAVES, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



TRIM

Exhibit 4-35. Proposed Color/Materials – Cluster Scheme 4 ('B' Farmhouse)



FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



SIDING

Exhibit 4-36. Proposed Color/Materials – Cluster Scheme 5 ('B' Farmhouse)



FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



SIDING

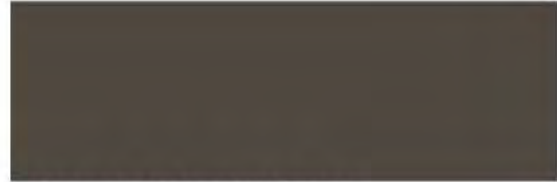
Exhibit 4-37. Proposed Color/Materials – Cluster Scheme 6 ('B' Farmhouse)



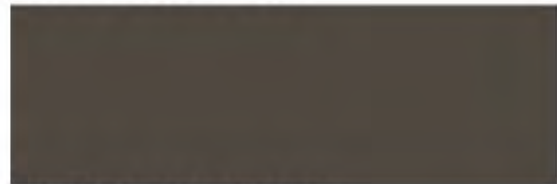
FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



SIDING

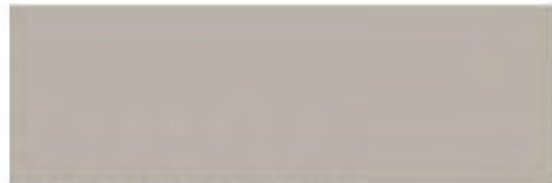
Exhibit 4-38. Proposed Color/Materials – Cluster Scheme 7 ('C' Cottage)



FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR

Exhibit 4-39. Proposed Color/Materials – Cluster Scheme 8 ('C' Cottage)



FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR

Exhibit 4-40. Proposed Color/Materials – Cluster Scheme 9 ('C' Cottage)



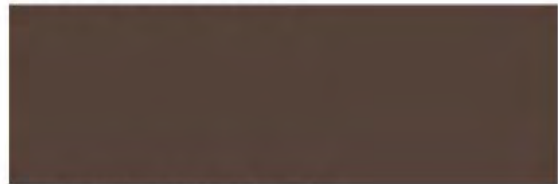
FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR

Exhibit 4-41. Proposed Color Scheme Matrix (Cluster)



 <div style="text-align: center;"> <h2 style="margin: 0;">WALNUT GROVE</h2> <p style="margin: 0;">TOWNHOMES</p> <p style="margin: 0;">JOB # 016-20059</p> <p style="margin: 0;">COLOR SELECTION CHART</p> </div> <div style="text-align: right;">  </div>									
ROOF: EAGLE (T24 COMPLIANT) PAINT: SHERWIN WILLIAMS MORTAR: ORCO BLENDED PRODUCT WROUGHT IRON: SW 699 CAVIAR CLAY OUTLOOKER: SW 6096 JUTE BROWN GUTTERS & DOWNSPOUT: CUSTOM BILT METALS STONE: CREATIVE MINES									MAY 26, 2020
SCHEME #	SCHEMES 1-3 ARE 'A' SPANISH COLONIAL ELEVATION			SCHEMES 4-6 ARE 'B' FARMHOUSE ELEVATIONS			SCHEMES 7-9 ARE 'C' COTTAGE ELEVATIONS		
	1	2	3	4	5	6	7	8	9
FASCIA, EAVES, TRIM, TAILS, SIDE & GARAGE DOORS	SW 7026 GRIFFIN	SW 7039 VIRTUAL TAUPE	SW 7029 AGREEABLE GRAY	SW 7040 SMOKEHOUSE	SW 7757 HIGH REFLECTIVE WHITE	SW 7020 BLACK FOX	SW 7018 DOVETAIL	SW 7067 CITYSCAPE	SW 6202 CAST IRON
WINDOW & DOOR TRIM ('A' ONLY)	SW 7029 AGREEABLE GRAY	SW 1015 SKYLINE STEEL	SW 7031 MEGA GREIGE	-----	-----	-----	-----	-----	-----
SHUTTERS & ENTRY DOORS	SW 6207 RETREAT	SW 9135 WHIRLPOOL	SW 6235 FOGGY DAY	SW 7620 SEAWORTHY	SW 6990 CAVIAR	SW 7020 BLACK FOX	SW 7659 GRIS	SW 2837 AURORA BROWN	SW 6041 OTTER
BASE STUCCO	SW 7757 HIGH REFLECTIVE WHITE	SW 7042 SHOJI WHITE	SW 7029 AGREEABLE GRAY	SW 7638 JOGGING PATH	SW 7064 PASSIVE	SW 7023 REQUISITE GRAY	SW 7008 ALABASTER	SW 7542 NATUREL	SW 7506 LOGGIA
SIDING	-----	-----	-----	SW 6207 RETREAT	SW 7757 HIGH REFLECTIVE WHITE	SW 6256 SERIOUS GRAY	-----	-----	-----
STONE (ONLY 'C' ELEVS.)	-----	-----	-----	-----	-----	-----	TIMBERWOLF SPLIT MODULAR	GREYPEARL SPLIT MODULAR	BISON SPLIT MODULAR
'S' ROOF TILE	3680 A.SRI 25	3645 A.SRI 22	3816 A.SRI 20	-----	-----	-----	-----	-----	-----
FLAT ROOF	-----	-----	-----	5634 A.SRI 16	5699 A.SRI 16	5502 A.SRI 16	4883 A.SRI 18	4884 A.SRI 17	4634 A.SRI 16
WINDOW FRAME	TAN	TAN	TAN	TAN	TAN	TAN	WHITE	WHITE	WHITE
GUTTERS & DOWNSPOUT	BRONZE	BRONZE	BRONZE	BRONZE	WHITE	MUSKET	BRONZE	OLD TOWN GRAY	BRONZE

Exhibit 4-42. Proposed Color/Materials – Townhome Scheme 1 ('A' Spanish)



'S' ROOF



BASE STUCCO



FASCIA, EAVES, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



TRIM



ACCENT STUCCO

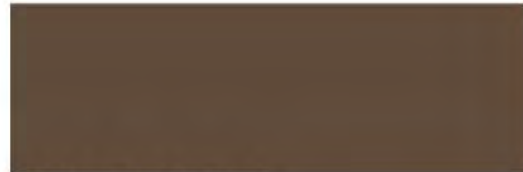
Exhibit 4-43. Proposed Color/Materials – Townhome Scheme 2 ('A' Spanish)



'S' ROOF



BASE STUCCO



FASCIA, EAVES, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



TRIM



ACCENT STUCCO

Exhibit 4-44. Proposed Color/Materials – Townhome Scheme 3 ('B' Farmhouse)



FLAT ROOF



BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



SIDING



ACCENT STUCCO

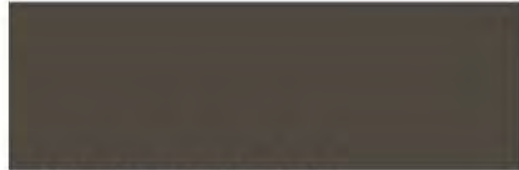
Exhibit 4-45. Proposed Color/Materials – Townhome Scheme 4 ('B' Farmhouse)



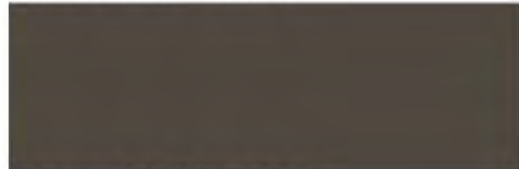
FLAT ROOF



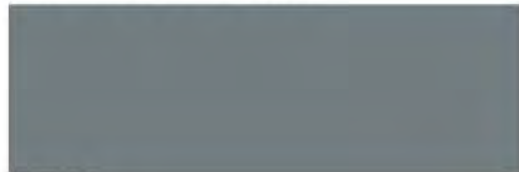
BASE STUCCO



FASCIA, EAVES, TRIM, TAILS,
SIDE & GARAGE DOORS



SHUTTERS & ENTRY DOOR



SIDING



ACCENT STUCCO

Exhibit 4-46. Proposed Color Scheme Matrix (Townhome)

SCHEMES		SCHEMES 1 & 2 ARE FOR 'A' SPANISH		SCHEMES 3 & 4 ARE FORE 'B' FARMHOUSE	
		1	2	3	4
FASCIA, EAVES, HEADERS, POT SHELVES, KICKERS & GARAGE DOOR		SW 7040 SMOKEHOUSE	SW 9091 HALF-CALF	SW 7757 HIGH REFLECTIVE WHITE	SW 7020 BLACK FOX
TRIM		SW 6150 UNIVERSAL KHAKI	SW 7549 STUDIO TAUPE	-----	-----
SHUTTERS & FRONT DOOR		SW 6186 DRIED THYME	SW 6235 FOGGY DAY	SW 6990 CAVIAR	SW 7020 BLACK FOX
BASE STUCCO		SW 7566 WESTHIGHLAND WHITE	SW 7011 NATURAL CHOICE	SW 1015 SKYLINE STEEL	SW 7688 MARCH WIND
ACCENT STUCCO		SW 6148 WOOL SKEIN	SW 7532 URBAN PUTTY	SW 7757 HIGH REFLECTIVE WHITE	SW 7018 DOVETAIL
SIDING		-----	-----	SW 9161 DUSTBLU	SW 6235 FOGGY DAY
'S' ROOF		3680 A.SRI 25	3645 A.SRI 22	-----	-----
FLAT ROOF		-----	-----	5699 A.SRI 16	SCP 8805 A.SRI 16
GUTTER & DOWNSPOUTS		BRONZE	BRONZE	WHITE	BRONZE



**WALNUT GROVE
TOWNHOMES**
JOB# 016-20060
COLOR SELECTION CHART



PAINT: SHERWIN WILLIAMS MAY 26, 2020
ROOF: EAGLE
WROUGHT IRON: SW 6990 CAVIAR
FAUX CLAY VENTS: SW 9100 UMBER RUST

5. Landscape Design Standards and Guidelines

5.1. Residential Landscape Design Standards and Guidelines

All landscape plans and graphic designs, such as entry monumentation, shall conform to the guidelines as set forth herein, and shall be subject to review and approval by the City of West Covina.

5.2. Rowland Avenue Character

Rowland Avenue Landscape Character shall consist of the following:

- Enhanced Entry – Where the two (2) new entry drive aisles from Rowland Avenue are constructed, monument signage, enhanced planting, and large specimen trees shall be provided.
- Parkway – Where a landscape parkway is provided along Rowland Avenue, tree and shrub planting shall be designed to complement and blend the Walnut Grove frontage with adjacent properties.
- Monument Signage – Monuments shall compliment the architectural aesthetic of Walnut Grove in materials and colors. Monument signage shall be visible and legible in size and color from Rowland Avenue while being resistant to vandalism.

5.3. Community Open Space

The Community Open Space Area shall consist of the following elements:

- Enhanced Entries – Entries shall have wood overhead trellis structures to serve as portals into the space. There shall be two (2) entries total; one (1) at the Northeast portion and one (1) at the Southwest portion of the Open Space. See **Exhibit 6-1** for conceptual design of this amenity.
- Open Space Amenities – Bench seating areas and trash receptacles shall be provided throughout the open space with a minimum of three (3) seating areas with bench, and trash receptacles.
- Picnic Area - The picnic area shall consist of a solid roof covered structure with at least one (1) picnic table and seating beneath.
- Children’s Tot-Lot Area – Tot-Lot shall have play equipment designed for children 5-12 years of age, a swing set consisting of at least two (2) swings, bench seating for parental supervision and accessible surfacing. Play Equipment and surfacing shall be certified to ISO 9001 and IPEMA standards.
- Open Turf Area – Turf area shall be provided to serve as an informal play area and general purpose use.
- Connecting Walkways – Walkways shall be a minimum of 5’ Wide and designed to meet ADA Accessibility Design Standards.
- Gang Mailbox – USPS approved Gang Mailboxes shall be provided for each residential unit and shall be located both in the Northeast and Southwest portions of the Open Space Area.

5.4. Landscaping

Planting designs shall be compatible with existing adjacent residential neighborhoods. Tree selection shall help to set the landscape tone and shall be organized by primary function (i.e. Front Yard Trees, Streetscape, Entry Specimen Trees, Accent Trees, Screening Trees, Etc.). Shrub and groundcover plantings shall also be organized using similar concepts (i.e. background shrub, upright accent shrub, flowering perennial border, screening hedge, groundcovers shall be grouped based off water requirements and irrigated appropriately. See Plant Palette (**Exhibits 5-7 through 5-9**), Planting Zones (**Exhibit 5-2**) and Conceptual Landscape Master Plan (**Exhibit 5-1**) for more detailed information. A landscape buffer adjacent to existing residential uses will be included along the western boundary and a portion of the norther boundary. The landscape buffer is detailed in **Exhibit 5-6**.

5.5. Entry Monument Lighting

Intensely “hot” or bright lighting shall be avoided at the entry. Lighting fixtures shall be selected and located appropriately to avoid unwanted glare. Fixtures shall have devices to aim light downward with a minimum 70% cut off.

5.6. Walls and Fences

- Pilasters – Masonry Pilasters shall be constructed with Split Face Block with an enhanced precast Concrete Cap and be provided as indicated on the conceptual Wall and Fence Plan.
- Perimeter Walls Adjacent to Commercial Area – Located at the north and east property, these walls shall be constructed with Split Face Block with a Precision Block Cap.
- Perimeter Walls Adjacent to Existing Private Residents – Located at the North and West Property, these walls shall be constructed with Precision Block with a Precision Block Cap.
- Perimeter Walls Viewable by Public – Walls along Rowland Avenue to the south, Pioneer Drive to the west and N. Eileen Street to the north shall be constructed with Split Face Block with an enhanced Masonry Cap.
- Interior Walls – Interior Walls viewable from public shall be constructed with Single Side Split Face Block (Public Side) with a Precision Block Cap.
- Privacy Fence – Return, side and rear yard privacy fence shall be constructed with vinyl material. Side yard gates shall also be constructed with vinyl material.

Refer to **Exhibit 5-4, Conceptual Wall and Fence Plan** and **Exhibit 5-5, Wall and Fence Details** for additional information.

5.7. Landscape Plans

All landscaping shall comply with Division 1 – Water Efficient Landscaping (Section 26-750.1100) of the West Covina Municipal Code. A landscape architect, licensed in California, shall be retained to prepare planting and irrigation plans for all common areas.

5.8. Irrigation Design

Irrigation for both public and private landscapes shall be designed to be as water efficient as possible and shall comply with the latest water efficient landscape Ordinance. All irrigation systems shall be controlled using automatic controllers designed to properly apply water to plant materials given the sites soil conditions and evapotranspiration rates. Controllers shall be connected to an automatic rain shut off devices and shall be capable of adjusting the program based on real time weather data. Spray systems shall have low-volume, matched precipitation nozzles fitted on pop-up bodies that are outfitted with pressure compensating devices and integral check valves. Hydrozones shall be developed to control the water to specific plant material and adhere to environmental conditions. Pop-up bodies shall be specified in areas that may experience pedestrian traffic such as walkways and separation between turf and shrub beds. Standard 12" high risers may be specified for areas next to buildings and where foot traffic will not be encountered.

The common area on-site irrigation system will be entirely private and maintained by the planned H.O.A.

5.9. Landscape Maintenance

All landscaping, trees, lighting, and irrigation systems within the boundaries of Walnut Grove's common areas, shall be maintained by the private Homeowner's Association.

5.10. Pedestrian Linkages (Street and Walkways)

Pedestrian pathways shall be organized to promote hierarchy of circulation relative to location and use. These circulation paths lead users to front doors of the residences.

- A 5' wide sidewalk (minimum) shall be provided adjacent to street curb (6' wide at head in parking).
- A 4' wide pathway (minimum) shall be provided between building corridors.
- A 3' wide pathway (minimum) shall be provided to each unit front door.

Sidewalks and pathways shall be constructed of concrete. Pedestrian Walkways shall be clearly marked where they cross vehicular drives and roadways.

5.11. Plant Palette

The following legend gives reference to possible species used for specific conditions shown on specific plan exhibits (i.e. Large accent tree). Other drought tolerant trees and shrubs shall be permitted; this is only a sample of drought tolerant planting that could be used. For further details, refer to the Plant Legend in **Exhibits 5-8 and 5-9**.

- *Tristania conferta* - Brisbane Box
- *Hymenosporum flavum* - Sweetshade Tree
- *Malaleuca quinquenervia* - Paperbark tree
- *Arbutus 'Marina'* – Strawberry Tree
- *Lagerstroemia indica x fauriei 'Arapaho'* - Arapaho Crape Myrtle
- *Cupressus sempervirens 'Monshel'* - Tiny Tower Italian Cypress
- *Handroanthus chrystrichus* - Golden Trumpet Tree

Walnut Grove Specific Plan [DRAFT]

Version: 04.2021

- *Bauhinia x. blakeana* - Hong Kong Orchid Tree
- *Jacaranda mimosifolia* - Jacaranda
- *Prunus caroliniana* 'Bright and Tight' - Carolina Laurel Cherry
- *Parthenocissus tricuspidata* - Boston Ivy

Exhibit 5-1. Conceptual Landscape Master Plan



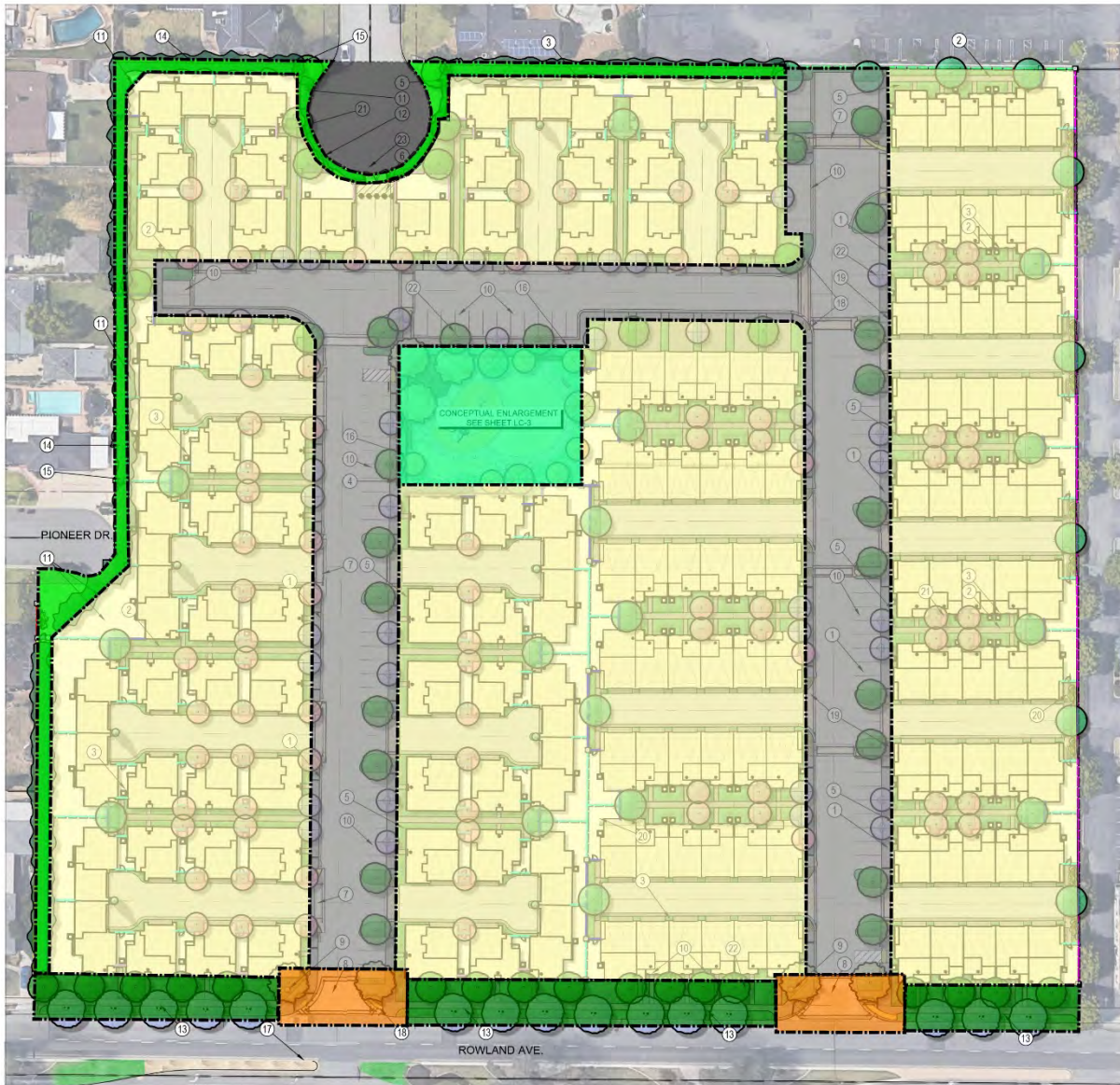
PLANT PALETTE:

TREES & VINES		
BOTANICAL NAME	COMMON NAME	SIZE
INTERIOR STREET TREE <i>Tristania conferta</i>	Brisbane Box	24" Box
UPRIGHT RESIDENTIAL CORRIDOR CANOPY TREE <i>Hymenosporum flavum</i>	Sweetshade Tree	24" Box
ALLEY AND CORRIDOR TERMINUS FOCAL TREE <i>Melicopea quinqueraria</i>	Paperbark Tree	24" Box
LARGE MULTI-TRUNK SPECIMEN TREE <i>Arbutus 'Manna'</i>	Strawberry Tree	38" Box
FLOWERING ACCENT TREE <i>Lagerstroemia indica x 'Aurora'</i> 'Arapaho'	Arapaho Crape Myrtle	24" Box
MOTORCOURT UPRIGHT ACCENT TREE <i>Cupressus sempervirens 'Monch'</i>	Tiny Tower Italian Cypress	15 Gal.
SMALL FLOWERING ACCENT TREE <i>Handroanthus chrysotrichus</i>	Golden Trumpet Tree	24" Box
FLOWERING SHADE TREE <i>Bauhinia x. 'Iriakana'</i>	Hong Kong Orchid Tree	24" Box
ROWLAND AVENUE PARKWAY TREE <i>Jasarauda minosfolia</i>	Jasarauda	24" Box
EVERGREEN SCREENING TREE MASS <i>Podocarpus gracilior</i>	Fern Pine	15 Gal.
VINES <i>Parthenocissus tricuspidata</i>	Boston Ivy	15 Gal.

FEATURE LEGEND:

- ① 5' Wide, Medium Broom, Natural Color Concrete Interior Walkways.
- ② 4' Wide, Medium Broom, Natural Concrete Residential Corridor Walkways.
- ③ A.C. Units Per Architects Plans.
- ④ 6' Wide Medium Broom, Natural Concrete Sidewalk at Head-In-Parking Stalls.
- ⑤ H.O.A. Landscape Areas.
- ⑥ Removable Bollards.
- ⑦ Enhanced Crosswalks.
- ⑧ Enhanced Paving at Main Entry Drive.
- ⑨ Proposed Monument Locations. (See Monument Elevation, This Sheet)
- ⑩ Parking Stalls Per Civil Engineer's Plans.
- ⑪ Existing Easements.
- ⑫ Existing Curb.
- ⑬ Proposed Parkway Along Rowland Avenue.
- ⑭ 7'-6" Wide Min. H.O.A. Maintained Landscape Lot.
- ⑮ Maintenance Access Gate.
- ⑯ Gang Mailbox Location with Trash Receptacle.
- ⑰ Proposed New Rowland Avenue, Median Alignment Per Civil Engineer's Plans.
- ⑱ Curb Ramp with Truncated Domes Per Civil Engineer's Plans.
- ⑲ Minimum 3' Wide Utility Closet Access Concrete Pad
- ⑳ 4' Wide Medium Broom Natural Concrete Sideyard Access Path (w/ Utility Closet Access Pad).
- ㉑ 3' Wide Medium Broom Natural Concrete Private Residential Unit Entry Walkway.
- ㉒ Diamond Tree Planter.
- ㉓ 6' Tall EVA Double Swing Gate.

Exhibit 5-2. Landscape Planting Zones





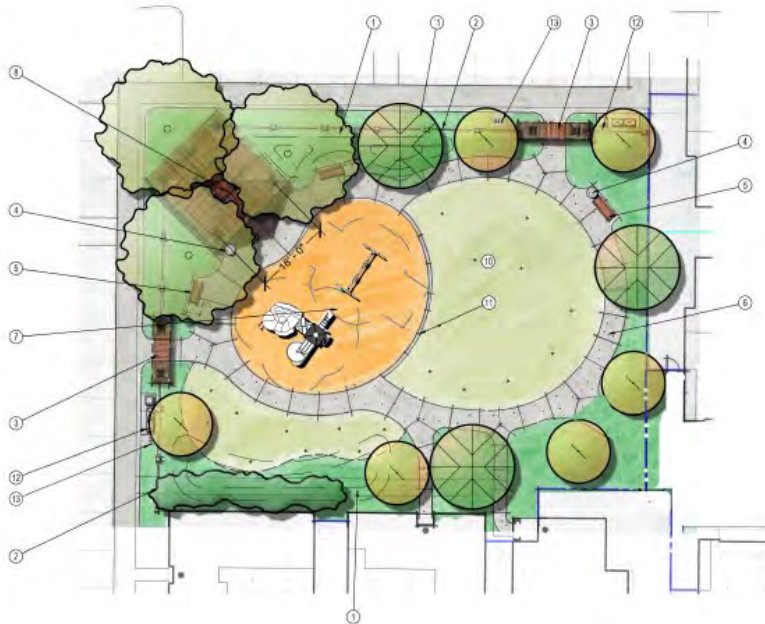
- | | | | | | |
|---|--------------------------|---|---|---|----------------------------------|
|  | Rowland Avenue |  | Open Space Park |  | Existing Public Street To Remain |
|  | Entries and Monuments |  | Residential Spanish / Farmhouse / Cottage | | |
|  | Interior Private Streets |  | H.O.A Maintained Landscape Lot | | |

Exhibit 5-3. Conceptual Park Enlargement Plan



CONCEPT IMAGES



BENCH SEATING



PICNIC TABLE



TRASH RECEPTACLE



2 RAIL PVC FENCE



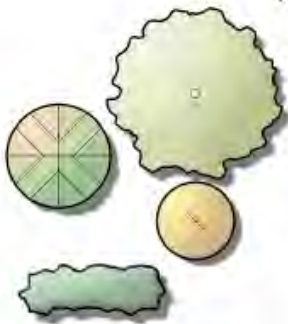
MAILBOX



COVERED SHADE STRUCTURE

PLANT PALETTE

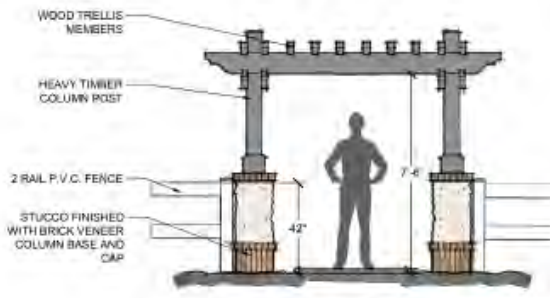
TREES & VINES



LARGE MULTITRUNK SPECIMEN TREE <i>Arbutus Menziesii</i>	Strawberry Tree	36" Box
FLOWERING SHADE TREE <i>Bauhinia x blakeana</i>	Hong Kong Orchid Tree	24" Box
SMALL FLOWERING ACCENT TREE <i>Wisteria floribunda</i>	Golden Trumpet Tree	34" Box
EVERGREEN SCREENING TREE MASS <i>Pinus carolinensis 'Bright and Tight'</i>	Carolina Laurel Cherry	

FEATURE LEGEND:

- ① Landscaping Berming
- ② 42" Tall 2 Rail P.V.C. Fencing
- ③ Wood Arbor Trellis Entry
- ④ Trash Receptacle
- ⑤ Bench Seating
- ⑥ 5' Wide Medium Bloom Natural Concrete Path
- ⑦ Children's Tot Lot with Play Equipment, Swing Set and Rubber Surfacing
- ⑧ Pre-fabricated Covered Structure with Decorative Column Post and Picnic Table Seating
- ⑩ Open Tuff Play Area
- ⑪ Concrete Header
- ⑫ Gang Mailbox Location
- ⑬ Bike Racks



WOOD ARBOR ENTRY TRELLIS

SCALE: 1/4" = 1'-0"

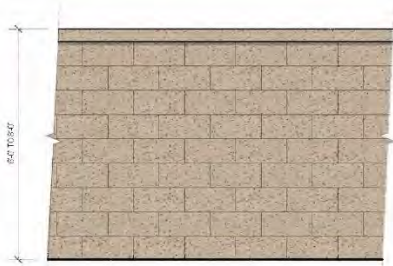
Exhibit 5-4. Conceptual Wall and Fence Plan



WALL AND FENCE LEGEND:

- | | |
|--|---|
| <ul style="list-style-type: none"> ① 7'-0" TALL SPLIT-FACE BLOCK PERIMETER WALL WITH 4" CAP. ② 7'-0" TALL ENHANCED SPLIT-FACE BLOCK PERIMETER WALL WITH ENHANCED BEVELED CAP. ③ 6'-0" TALL NEW PRECISION BLOCK PERIMETER WALL WITH 4" CAP. ④ 6'-0" TALL SINGLE SIDED SPLIT-FACE RETURN WALLS. ⑤ 6'-0" TALL VINYL PRIVACY FENCE. ⑥ 6'-0" TALL ENHANCED SPLIT-FACE BLOCK PERIMETER WALL WITH ENHANCED BEVELED CAP. | <ul style="list-style-type: none"> ⑦ 6'-0" TALL EXISTING PRECISION BLOCK PERIMETER WALL WITH 4" CAP. ⑧ 3'-0" WIDE VINYL ACCESS GATE. ⑨ 6'-8" TALL SPLIT-FACE PERIMETER PILASTER WITH 4" ENHANCED BEVELED CAP. ⑩ 3'-8" TALL 2-RAIL VINYL PVC COMMUNITY PARK FENCE. ⑪ 4'-0" TALL SPLIT FACE PERIMETER PILASTER AT COMMUNITY PARK. ⑫ REMOVABLE VEHICULAR BOLLARDS. ⑬ PROPOSED MONUMENT LOCATION. ⑭ 6' TALL NEW OR EXISTING PRECISION BLOCK WALL. |
|--|---|

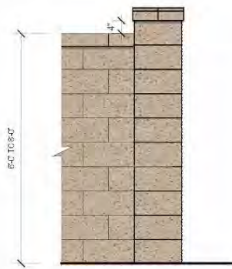
Exhibit 5-5. Wall and Fence Details



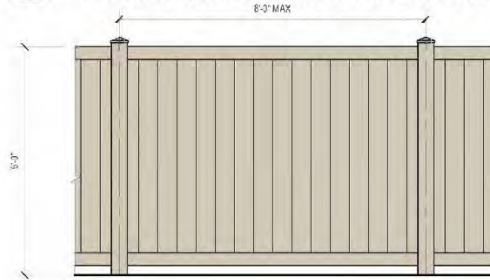
A 6' TO 8' TALL SPLITFACE BLOCK PERIMETER WALL W/ 4" CAP



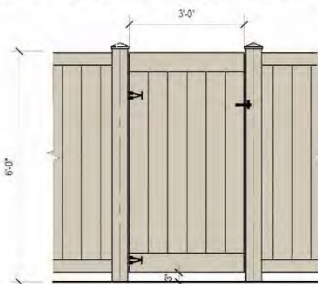
B 6' TALL SPLITFACE BLOCK PERIMETER WALL w/ ENHANCED 4" BEVELED CAP



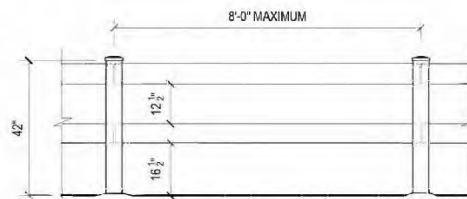
C 6'-8" TO 8'-8" TALL SPLITFACE BLOCK PERIMETER PILASTER w/ ENHANCED 4" BEVELED CAP



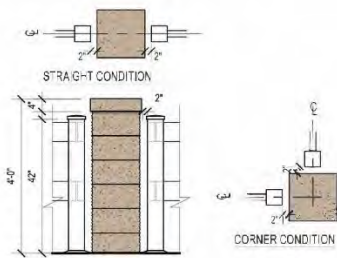
D 6' TALL PVC RETURN WALL, SIDE AND REAR YARD PRIVACY FENCE



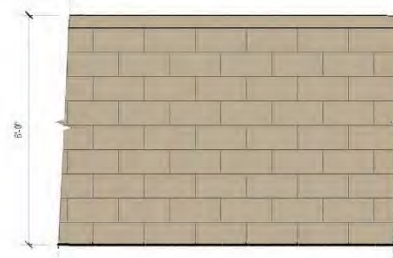
E 3' WIDE VINYL SIDE YARD GATE AT VINYL RETURN WALL



F 2 RAIL PVC FENCE AT COMMUNITY PARK



G PILASTER CONDITION AT 2 RAIL PVC FENCE



H 6' TALL PRECISION BLOCK PERIMETER WALL

WALL AND FENCE DETAILS

SCALE: 1/2" = 1'-0"

Exhibit 5-6. Conceptual Landscape Buffer Adjacent to Existing Residential

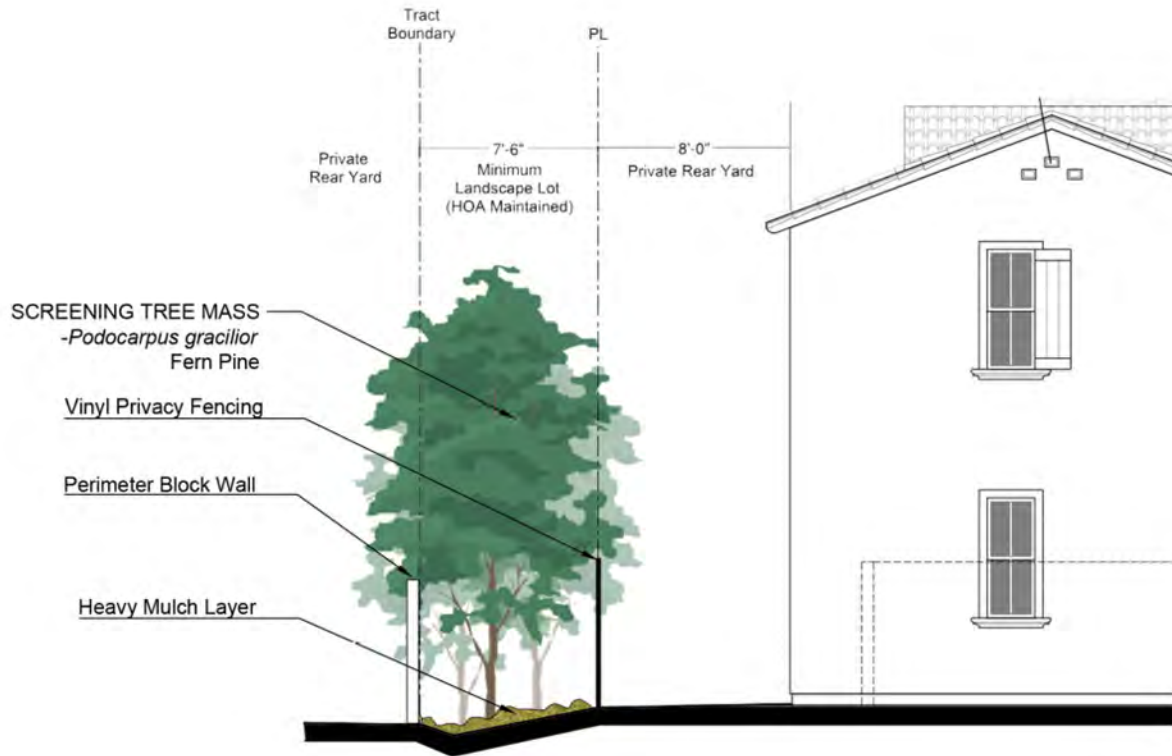













Exhibit 5-7. Sample Plant Palette

PLANT PALETTE:

TREES & VINES

	BOTANICAL NAME	COMMON NAME	SIZE
	— <i>Tristania conferta</i>	• Brisbane Box	24" Box
	INTERIOR STREET TREE		
	— <i>Hymenosporum flavum</i>	• Sweetshade Tree	24" Box
	UPRIGHT RESIDENTIAL CORRIDOR CANOPY TREE		
	— <i>Melaleuca quinquenervia</i>	• Paperbark Tree	24" Box
	ALLEY AND CORRIDOR TERMINUS FOCAL TREE		
	— <i>Arbutus 'Marina'</i>	• Strawberry Tree	36" Box
	LARGE MULTI-TRUNK SPECIMEN TREE		
	— <i>Lagerstroemia indica x fauriei</i> 'Arapaho'	• Arapaho Crape Myrtle	24" Box
	MOTORCOURT UPRIGHT ACCENT TREE		
	— <i>Cupressus sempervirens</i> 'Monshel'	• Tiny Tower Italian Cypress	15 Gal.
	SMALL FLOWERING ACCENT TREE		
	— <i>Handroanthus chrysotrichus</i>	• Golden Trumpet Tree	24" Box
	FLOWERING SHADE TREE		
	— <i>Bauhinia x. blakeana</i>	• Hong Kong Orchid Tree	24" Box
	ROWLAND AVENUE PARKWAY TREE		
	— <i>Jacaranda mimosifolia</i>	• Jacaranda	24" Box
	EVERGREEN SCREENING TREE MASS		
	— <i>Podocarpus gracilior</i>	• Fern Pine	15 Gal.
	VINES		
	— <i>Parthenocissus tricuspidata</i>	• Boston Ivy	15 Gal.

SHRUBS AND GROUNDCOVER

BACKGROUND

- Arbutus unedo* 'Compacta' • Dwarf Strawberry Tree
- Arctostaphylos d.* 'Howard McMinn' • Manzanita
- Callistemon v.* 'Little John' • Dwarf Bottlebrush
- Cistus species* • Rockrose
- Echium fastuosum* • Pride of Madeira
- Frangula c.* 'Eve Case' • Coffeeberry
- Rosmarinus o.* 'Tuscan Blue' • Rosemary

MIDGROUND

- Lavandula species* • Lavender
- Hesperaloe parviflora* 'Break Lights' • Red Yucca
- Nandina domestica* 'Fire Power' • Heavenly Bamboo
- Muhlenbergia rigens* • Deer Grass
- Romneya coulteri* • Matilija Poppy
- Salvia clevelandii* 'Pozo Blue' • Cleveland Sage
- Salvia leucantha* 'Santa Barbara' • Mexican Sage

FOREGROUND

- Anigozanthos* 'Bush Baby' • Kangaroo Paw
- Carex divulsa* • Berkeley Sedge
- Festuca o.* 'Glaucia' • Blue Fescue
- Rosmarinus o.* 'Huntington Carpet' • Rosemary
- Senecio serpens* • Blue Chalksticks
- Trachelospermum jasminoides* • Star Jasmine

Exhibit 5-8. Sample Tree and Vine Locations by Zone

Water Requirements	TREES		Rowland Avenue	Entries and Monuments	Interior Streets	Open Space Park	Residential (Spanish)	Residential (Farmhouse)	Exterior H.O.A.
	BOTANICAL NAME	COMMON NAME							
Medium	<i>Arbutus 'Marina'</i>	Strawberry Tree		•		•			
Medium	<i>Bauhinia x. blakeana</i>	Hong Kong Orchid Tree				•			
Low	<i>Cupressus sempervirens 'Monshel'</i>	Tiny Tower Italian Cypress					•	•	
Medium	<i>Handroanthus chrysotrichus</i>	Golden Trumpet Tree				•			
Medium	<i>Hymenosporum flavum</i>	Sweetshade Tree					•	•	
Medium	<i>Jacaranda mimosifolia</i>	Jacaranda	•						
Medium	<i>Lagerstroemia indica x fauriei 'Arapaho'</i>	Arapaho Crape Myrtle			•				
Medium	<i>Melaleuca quinquenervia</i>	Paperbark Tree					•	•	
Medium	<i>Podocarpus gracillior</i>	Fern Pine				•			•
Medium	<i>Tristania conferta</i>	Brisbane Box			•				
	VINES								
Low	<i>Parthenocissus tricuspidata</i>	Boston Ivy							•

Exhibit 5-9. Sample Shrub Locations by Zone

Water Requirements	SHRUBS		Rowland Avenue	Entries and Monuments	Interior Streets	Open Space Park	Residential (Spanish)	Residential (Farmhouse)	Exterior H.O.A.
	BOTANICAL NAME	COMMON NAME							
Low	<i>Anigozanthos</i> 'Bush Baby'	Kangaroo Paw	•	•			•		
Low	<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree			•				•
Low	<i>Arctostaphylos d.</i> 'Howard McMinn'	Manzanita						•	
Low	<i>Callistemon v.</i> 'Little John'	Dwarf Bottlebrush		•	•	•		•	
Low	<i>Carex divulsa</i>	Berkeley Sedge	•		•			•	•
Low	<i>Cistus species</i>	Rockrose	•				•		
Low	<i>Echium fastuosum</i>	Pride of Madeira	•			•	•		•
Medium	<i>Festuca o.</i> 'Glaucia'	Blue Fescue		•				•	
Low	<i>Frangula c.</i> 'Eve Case'	Coffeeberry			•	•		•	
Low	<i>Hesperaloe parviflora</i> 'Break Lights'	Red Yucca	•						•
Low	<i>Lavandula species</i>	Lavender			•	•	•		
Medium	<i>Muhlenbergia rigens</i>	Deer Grass			•	•		•	
Medium	<i>Nandina domestica</i> 'Fire Power'	Heavenly Bamboo	•	•	•	•	•	•	
Very Low	<i>Romneya coulteri</i>	Matilija Poppy	•						•
Low	<i>Rosmarinus o.</i> 'Huntington Carpet'	Rosemary	•	•	•		•		
Low	<i>Rosmarinus o.</i> 'Tuscan Blue'	Rosemary		•	•		•		
Low	<i>Salvia clevelandii</i> 'Poza Blue'	Cleveland Sage	•					•	•
Low	<i>Salvia leucantha</i> 'Santa Barbara'	Mexican Sage		•		•	•		
Low	<i>Senecio serpens</i>	Blue Chalksticks					•		•
Medium	<i>Trachelospermum jasminoides</i>	Star Jasmine	•		•			•	

6. Signage

6.1. Signs

This section provides standards and guidelines for the aesthetic design and quality of all signage within the Specific Plan area. Signage types anticipated within the Specific Plan area include entry monumentation (free-standing monuments) and residential identification (wall signage). Signage is intended to be clear, aesthetically pleasing, and complement the aesthetic of the overall community.

6.1.1. Signage Design Guidelines

Entry Monumentation Signage

Entry monumentation signage is intended to identify the community and provide a consistent aesthetic within public spaces that complements the architecture of the residential units. Monumentation signage is proposed at both entrances along Rowland Avenue. Entry monuments shall incorporate appropriate landscape elements that complement the architecture of the signage and soften the aesthetic appearance.

Sample entry monument design is shown in **Exhibit 6-1**.

Private Residential Signage

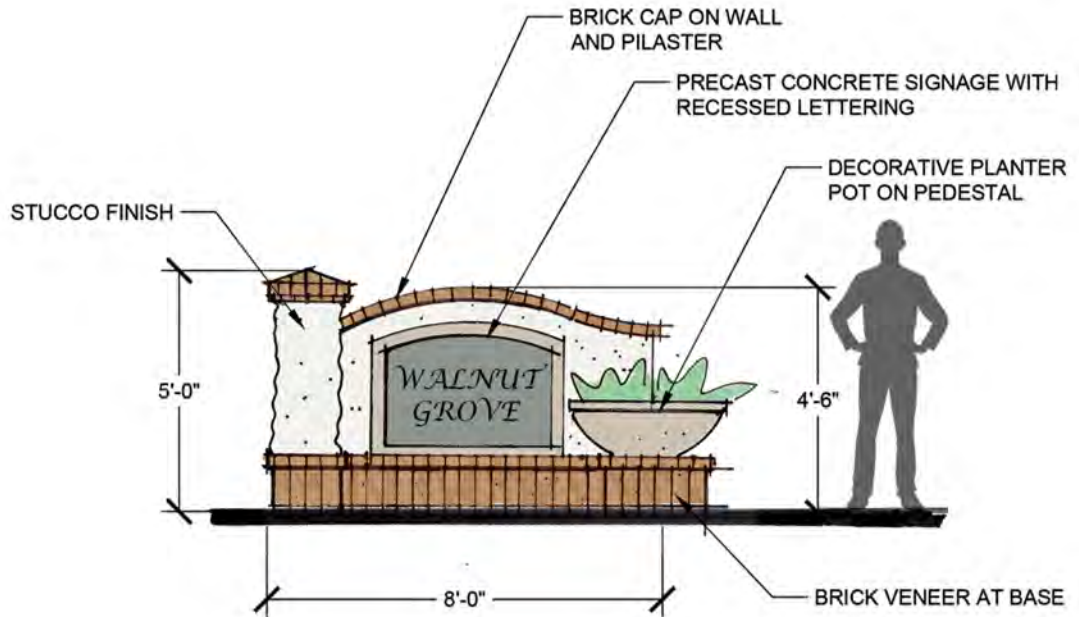
Private residential signage is limited to building identification sign such as addresses or unit numbers. This signage is intended to aid with wayfinding and be minimal. The design, materials, and colors of signs shall be coordinated with the design, materials, and colors of the building exteriors and other design features of the site on which they located.

Private residential signage shall be flat and permanently fixed to a door or exterior wall. No other signage types are permitted to identify individual units. Signs shall be proportionately related to the scale of the building and the scale of the facade on which signs may be located.

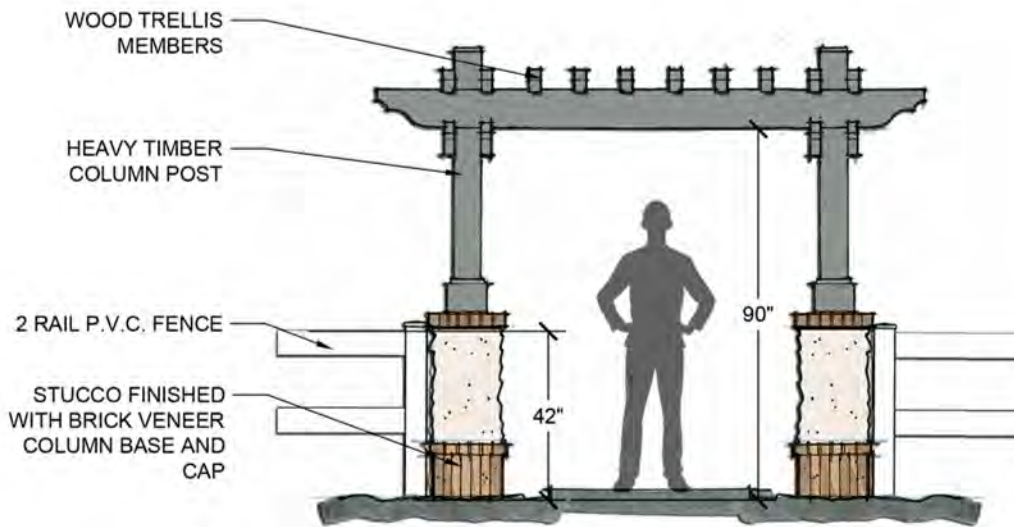
Illumination

Signs shall be lit at night to aid with wayfinding and identification. Signage lighting shall be aimed directly at the designated signage and designed so as not to negatively impact pedestrian or vehicle line-of-sight with unwanted glare.

Exhibit 6-1. Sample Entry Monumentation and Community Elements



MONUMENT ELEVATION



WOOD ARBOR ENTRY TRELLIS

7. Infrastructure, Utilities, and Public Services

7.1. Purpose and Intent

The purpose of this chapter is to identify the infrastructure, utilities, and public services required to serve the Walnut Grove Specific Plan. Any development within the Specific Plan area shall pay its fair share of traffic mitigation measures required by the traffic study. The following exhibits and text shall discuss infrastructure improvements for vehicle circulation, grading, storm drain, sewer, water, utilities, public services, site access and subdivision of the property.

7.2. Vehicle Circulation

The two primary ingress and egress points for the Project are located off E. Rowland Avenue. An additional fire access point is provided from the north via the existing cul-de-sac at the end of N. Eileen Street. A series of 24' wide private drive aisles provide direct access to all units from the primary on-site 25' wide loop road. Ingress and egress to the Project and all on-site circulation patterns are shown on **Exhibit 7.1**.

7.3. Grading

Proposed grading of the site is intended to comply with City of West Covina requirements. Site development includes retaining walls and perimeter walls along the west, north, and easterly property lines. Due to grade differences from offsite adjacent properties, combination retaining and freestanding walls will be required, with a combined height between 9' to 10'. All retaining walls will comply with City of West Covina requirements. The site generally drains from the northeast to southwest.

7.4. Standard Urban Stormwater Mitigation Plan (SUSMP)

The Standard Urban Stormwater Mitigation Plan was developed as part of the municipal stormwater program to address stormwater pollution from new developments and redevelopment projects. The proposed site improvements are intended to comply with the City of West Covina and County of Los Angeles' water quality SUSMP requirements and shall include a detention system with infiltration to clean the stormwater first flush before discharging from the project.

7.5. Storm Drain Plan

A private storm drain system located within the main drive aisles will convey the sites stormwater runoff to an underground detention system in the guest parking lot adjacent to Rowland Avenue. Stormwater will infiltrate and be detained and meter the runoff onto Rowland Avenue to match historical drainage patterns and volumes. In addition, stormwater from Eileen Avenue will be intercepted and re-routed through the onsite storm drain system. This will allow for abandonment of the existing storm drain swale and easement along the westerly boundary of the site, and improved drainage for the area. **Exhibit 7.1, Conceptual Utility Plan**, shows the layout of the proposed storm drain improvements.

7.6. Sewer Plan

Sewer service for the project shall be provided through the City of West Covina. The project shall convey sewage through an onsite 8" PVC sewer line and 4" PVC laterals which will tie into the existing sewer main

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in Rowland Avenue. **Exhibit 7.1, Conceptual Utility Plan**, shows the layout of the proposed sewer improvements.

7.7. Water Plan

Water service for the project will be provided by Suburban Water. The onsite water system shall be a minimum 8" water line that shall provide both domestic and fire service to the site. **Exhibit 7.1, Conceptual Utility Plan**, shows the layout of the proposed water improvements.

7.8. Utilities

7.8.1. Electricity

Southern California Edison (SCE) shall provide electric service to the Project Area and shall extend service to the Project in accordance with rules and policies for extension of service on file with the California Public Utilities Commission.

7.8.2. Natural Gas

The Southern California Gas Company shall provide natural gas service to the Project at the time contractual arrangements are made in accordance with Gas Company policies and extension rules and policies for extension of service on file with the California Public Utilities Commission.

7.8.3. Telephone Service

Verizon provides telephone service to the project area and shall extend service to the project in accordance with extension rules and policies for extension of service on file with the California Public Utilities Commission.

7.8.4. Cable TV

Charter Communications provides cable service within the City of West Covina and shall provide service at the time contractual arrangements are made.

7.8.5. Internet Access

Both Verizon or Charter Communications offer Internet service within the project area and shall provide service at the time contractual arrangements are made.

7.8.6. Solid Waste

Athens Services is contracted by the City of West Covina to provide waste hauling services within the city and for their material recovery facility (MRF) program. Athens Services shall provide solid waste collection services to the project.

7.9. Public Services

7.9.1. Fire

Fire services shall be provided by the City of West Covina Fire Department. Per the City's Fire District Map (current at the adoption of this Specific Plan), the Project will be served by Fire Station No. 3, located at 1433 West Puente Avenue. The Project is located approximately 2 miles (5-6 minutes) from Fire Station No. 3. The Mitigated Negative Declaration (MND) for the Project, once completed, will require adequate fire protection services for the project pursuant to **Section 1.4** of this document.

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7.9.2. Police

Public safety and general law enforcement services for the Project shall be provided by the City of West Covina Police Department. This includes patrolling services, traffic enforcement, and criminal investigations. The Project is located within Service Area 1 (North) as depicted on the current West Covina Police Department coverage map (as of adoption of this Specific Plan). The Mitigated Negative Declaration (MND) for the Project, once completed, shall provide adequate fire protection services for the project pursuant to **Section 1.4** of this document.

7.9.3. Schools

School services will be provided by the Covina-Valley Unified School District. The Project will be served by the following schools:

- Elementary School: Rowland Avenue Elementary School (approximately 0.4 miles away)
- Middle School: Traweek Middle School (approximately 0.4 miles away)
- High School: Covina High School (approximately 0.6 miles away)

Pursuant to Government Code Section 65995, the project will be required to offset impacts to the school system by paying a mandatory mitigation fee per square foot, paid at the time of building permit issuance.

7.9.4. Public Library

The West Covina Library is part of the County of Los Angeles Public Library and is located near City Hall at 1601 West Covina Parkway.

7.9.5. Community and Recreation

The City of West Covina Community Services Department manages all public park and community facilities within the City. These parks and facilities provide a range of community and recreational services to residents. In addition to public facilities, there are also privately run facilities that provide additional recreational opportunities for residents. The City currently operates fifteen public parks and the seven City facilities, including community and senior centers, equestrian area, pool facilities, and a nature center.

7.10. Subdivision

Tentative Tract Map No. 83134 (**Exhibit 7.2**) proposes 11 single-family residential cluster lots (Lots 1 – 8, and 18 - 20), 9 townhome lots (Lots 9 – 17) and 9 open space/driveway lots (Lots A - I) serving the project that will be maintained by a Home Owners Association.

Exhibit 7-1. Conceptual Utility Plan

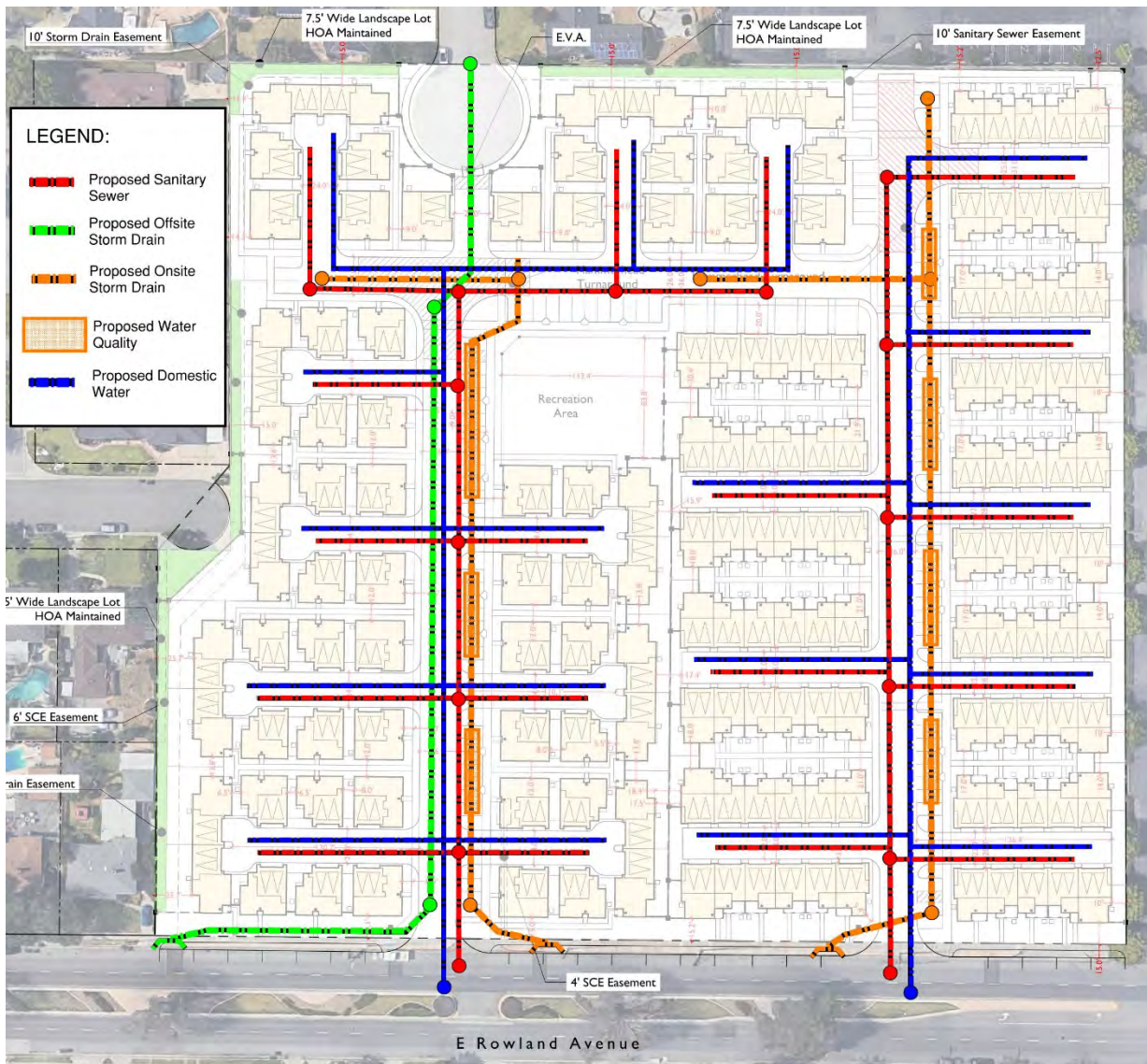


Exhibit 7-2. Tentative Tract Map

20 NUMBERED LOTS AND 9 LETTERED LOTS
9.14 ACRES GROSS
8.98 ACRES NET

TENTATIVE TRACT NO. 83134

FOR CONDOMINIUM PURPOSES

IN THE CITY OF WEST COVINA
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

BEING A SUBDIVISION OF PORTIONS OF LOTS 7 AND 8 IN BLOCK 17 OF PHILLIPS TRACT AS PER MAP RECORDED IN BOOK 9, PAGE 3, OF MISCELLANEOUS RECORDS, IN TITLE OF R.C.L. OF THE LOS ANGELES COUNTY RECORDS.

SITE SUMMARY:

TOTAL LOTS: 29
CLUSTER: 98
TOTAL UNITS: 92

PARKING REQUIRED:
SECTION 26-508 - CITY STREET PARKING IN MULTIPLE-FAMILY DWELLINGS (CONDOMINIUM)

2 PARKING SPACES/UNIT: 3.6
0.25 GUEST PARKING/UNIT: 22.5
TOTAL SPACES REQUIRED: 355.5

PARKING PROVIDED:

2 GARAGE SPACES/UNIT: 57.6 (2.0)
UNCOVERED SPACES: 81 (0.3) 1 x 4 H.C. SPACES
TOTAL PARKING PROVIDED: 497 (2.2+1)
ADDITIONAL 15 PARALLEL PARKING SPACES ON E ROWLAND AVENUE

MAP PREPARED: JULY, 2020

LEGEND:

- APRA ASSASSOR'S PARCEL NUMBER
- CENTERLINE
- EST. ESTABLISHED
- FORM FORM
- INT. INTERSECTION
- MAP MAP
- M.S. MISCELLANEOUS RECORDS
- PORT. PORTION
- PLAND. PLANNING RECORDS
- SP. SOURCE CELL
- ST. STATE FAMILY PARTING
- TRAC. TRACT
- LOT NUMBER

NOTES:

LOTS C AND D TO BE ALLOCATED TO THE CITY OF WEST COVINA FOR PUBLIC STREET RIGHT OF WAY PURPOSES.

LOTS E THROUGH I TO BE DESIGNATED TO THE HOA FOR LANDSCAPING PURPOSES.

EXISTING GROSS AREA OF SITE:

9.14 ACRES
NUMBER OF PARCELS: 2

LEGAL DESCRIPTION:

PARCEL 1:

LOT 8 IN BLOCK 17 OF PHILLIPS TRACT, RANCHO LA CLAY, IN THE CITY OF WEST COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9 PAGE 3 AND 4 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TRACT: 222196, W.L.B. 589-25

PARCEL 2:

THOSE PORTIONS OF LOTS 7 AND 8 IN BLOCK 17 OF PHILLIPS TRACT, IN THE CITY OF WEST COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9 PAGE 3 AND 4 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTLY CORNER OF TRACT 22196, AS PER MAP RECORDED IN BOOK 988 PAGES 23 AND 24 OF SAID COUNTY RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, INTEND ALONG THE EASTLY LINE OF SAID TRACT 22196 SOUTH 278.45 FEET TO AN ANGLE POINT, THENCE CONTINUING SOUTHWEST ALONG THE VARIOUS COURSES OF SAID EASTLY LINE AND THE SOUTHWESTLY PROLONGATION THEREOF SOUTH 427.452' WEST 78.02 FEET AND SOUTH 02.00' WEST 259.97 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, THENCE ALONG SAID SOUTHWESTLY LINE OF SAID LOT 7 AND THE SOUTHWESTLY LINE OF SAID LOT 8, SOUTH 89.2800' EAST 67.634 FEET, THENCE PARALLEL WITH THE CENTERLINE OF AZUSA AVENUE AS SAID AVENUE IS SHOWN ON MAP OF SAID TRACT 22196, NORTH 02.55' WEST 81.59 FEET TO THE NORTHEASTLY CORNER OF SAID LOT 8, THENCE ALONG THE NORTHEASTLY LINE OF SAID LOT 8 AND SAID LOT 7, NORTH 89.2800' WEST 67.634 FEET TO THE POINT OF BEGINNING.

A.P.N. 8442-018-000, 8442-018-001

ALL SURVEY INSTRUMENTS WHICH CAN BE VERIFIED BY A SURVEYOR PURSUANT TO A FIELD SURVEY, EXCEPT AS EXPRESSLY REPRESENTED OTHERWISE, ARE MADE AS TO THE LEGAL EFFECT OF ANY TITLE MATTER OR THE COMPLIANCE OR NONCOMPLIANCE WITH ANY LAW, WHETHER STATE, FEDERAL OR LOCAL JURISDICTION, EXCEPT AS EXPRESSLY NOTED HEREIN NO REPRESENTATION IS MADE AS TO THE EFFECT OF ANY EXCEPTIONS LISTED IN THE TITLE REPORT.

THE FOLLOWING INSTRUMENTS ARE FROM PUBLIC COAST, FULL COMPANYS UNPAID PRELIMINARY TITLE REPORT, AMENDMENT NO. 1, ORDER NO. 10022216-1, DATED MARCH 13, 2016:

<1> AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENT THEREIN, AS GRANTED IN A DOCUMENT:

GRANTED TO: SOUTHERN CALIFORNIA Edison COMPANY

RECORD: PUBLIC UTILITIES

RECORDED: JANUARY 24, 1958 AS DOCUMENT NO. 3438, OFFICIAL RECORDS

<2> AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENT THEREIN, AS GRANTED IN A DOCUMENT:

GRANTED TO: SOUTHERN CALIFORNIA Edison COMPANY

RECORD: PUBLIC UTILITIES

RECORDED: MARCH 24, 1958 AS DOCUMENT NO. 3438, OFFICIAL RECORDS

<3> MATTERS CONTAINED IN THAT CERTAIN DOCUMENT:

ENRILED: RESOLUTION NO. 59-RE-29

ENRILED BY: THE CITY OF WEST COVINA

RECORDED: OCTOBER 19, 1955 AS DOCUMENT NO. 4508, OFFICIAL RECORDS

<4> AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENT THEREIN, AS GRANTED IN A DOCUMENT:

GRANTED TO: COWANA-VALLEY UNITED SCHOOL DISTRICT OF LOS ANGELES COUNTY

RECORD: SANITARY SLURRY AND APPURTAINANT, SCHOOLS

RECORDED: MARCH 10, 1961 AS DOCUMENT NO. 2843, OFFICIAL RECORDS

<5> AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENT THEREIN, AS GRANTED IN A DOCUMENT:

GRANTED TO: CITY OF WEST COVINA

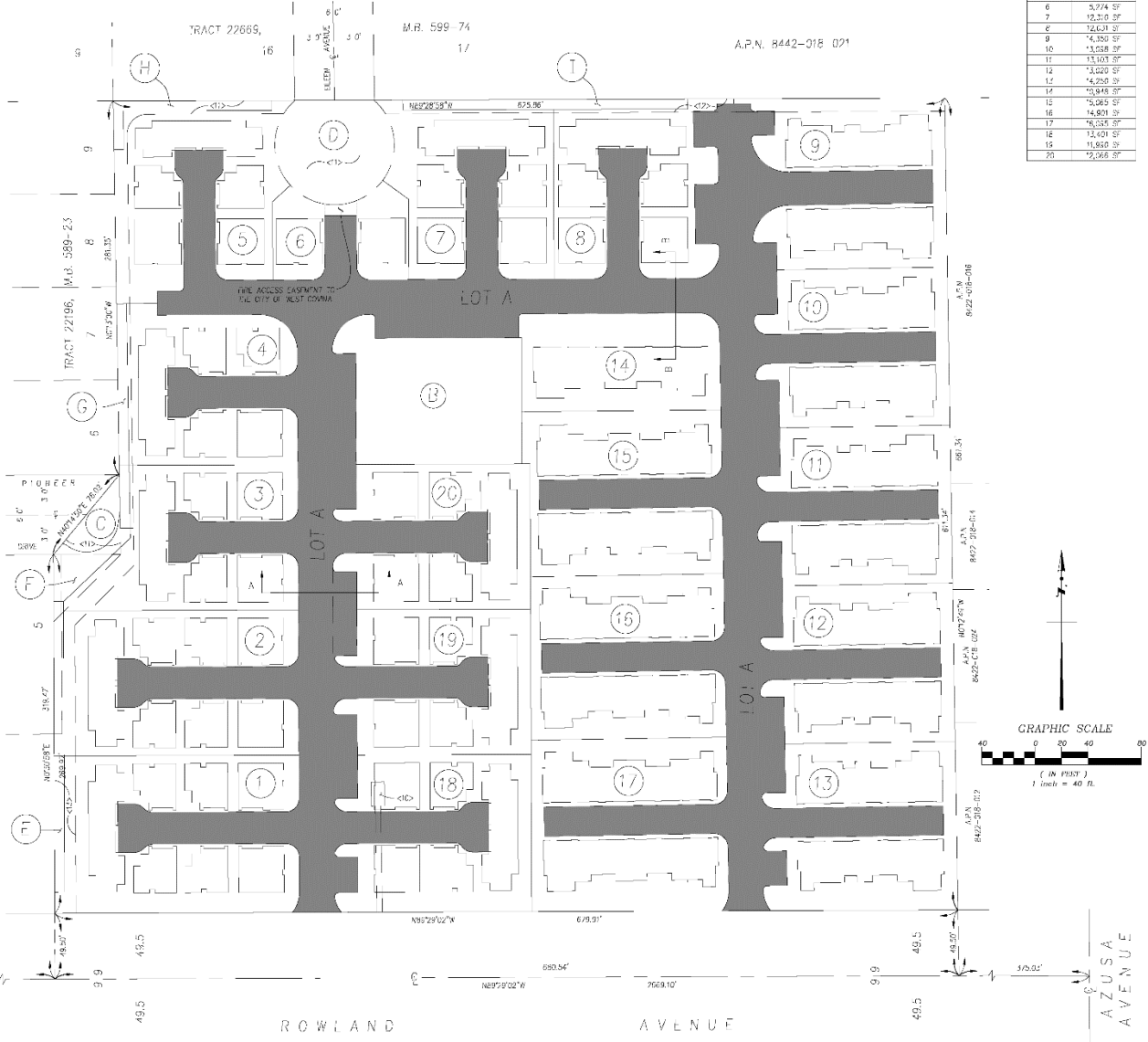
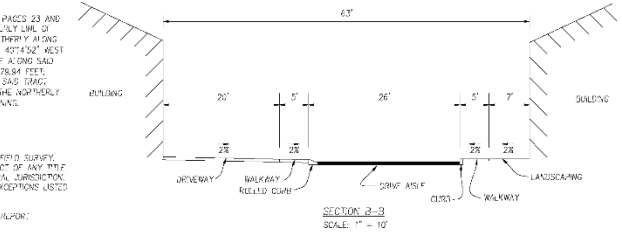
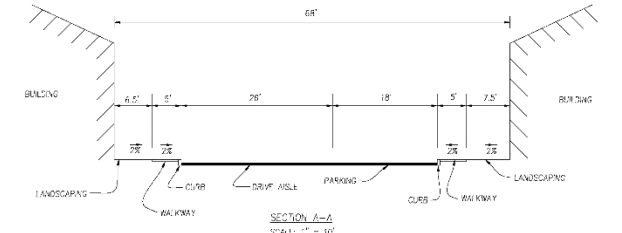
RECORD: STORM DRAIN

RECORDED: JANUARY 21, 1985 AS DOCUMENT NO. 3639, OFFICIAL RECORDS

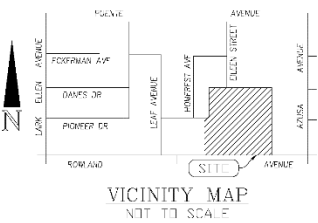
<6> A NOTICE THAT SAID LAND IS NOT WITHIN A PROJECT AREA OF THE DEVELOPMENT AGENCY SHOWN BELOW AND THAT PROCEEDINGS FOR THE PROPOSED PROJECT HAVE BEEN INITIATED UNDER THE DEVELOPMENT LAW (SUCH AS NECESSARY TO PROCEED ONLY AFTER THE ADOPTION OF THE DEVELOPMENT PLAN) AS DESCRIBED IN A DOCUMENT:

RECORDED: JANUARY 9, 1985 AS DOCUMENT NO. 29-27844, OFFICIAL RECORDS

DEVELOPMENT AGENCY: THE CITY OF WEST COVINA



AREA	AREA
1	488.4 SF
2	108,816.6 SF
3	2,420.2 SF
4	114.2 SF
5	5805.3 SF
6	7640.3 SF
7	764.4 SF
8	81.2 SF
9	1112.2 SF
10	1608.0 SF
11	2,717.6 SF
12	3,769.3 SF
13	2,738.5 SF
14	11,823.3 SF
15	3,487.3 SF
16	3,774.3 SF
17	13,213.3 SF
18	12,641.3 SF
19	4,350.3 SF
20	11,528.3 SF
21	13,103.3 SF
22	1,220.3 SF
23	4,230.3 SF
24	11,528.3 SF
25	12,641.3 SF
26	11,823.3 SF
27	13,213.3 SF
28	12,641.3 SF
29	4,350.3 SF
30	11,528.3 SF



<p>BASES OF BEARINGS:</p> <p>N 1/4° 15' 00" W 201.748' TO THE CENTERLINE OF AZUSA AVENUE AS SHOWN ON THE MAP OF TRACT NO. 22658 AS FILED IN BOOK 588 PAGES 74 THROUGH 76 OF MAPS, RECORDS OF LOS ANGELES COUNTY, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.</p>	<p>LOS ANGELES COUNTY BENCHMARK 463382, LOS ANGELES COUNTY 181' TO THE NORTH CORNER AT END OF CATCH BASIN, 33.4 FEET WEST OF CORNER AT NORTHEASTLY CORNER OF BADLLO STREET AND AZUSA AVENUE. ELEVATION 488.61'.</p>	<p>CLIENT:</p> <p>11185 MANAJO AVENUE, SUITE 200 UPLAND, CA 91786</p>	<p>PREPARED BY:</p> <p>DAVID EVANS AND ASSOCIATES INC. 17782 17TH STREET, SUITE 200 TUSTIN, CA 92780-1847 PHONE: 714.888.4500</p>	<p>TENTATIVE TRACT No. 83134</p> <p>1651 EAST ROWLAND AVENUE WEST COVINA, CA 91791</p>
<p>JOB NO. 14MCLDC-000</p>		<p>SHEET 1 OF 1</p>		

8. Administration and Implementation

The purpose of this chapter is to provide an outline of the steps necessary to implement the Walnut Grove Specific Plan and applicable conditions, mitigation measures and regulations in coordination with the City of West Covina and other governing public agencies. This chapter is intended to address each of these elements for the benefit of the development team, the City and other approving agencies, and interested citizens. The approval of this Specific Plan, certification of a Mitigated Negative Declaration, and adoption of conditions of approval and a Mitigation Monitoring and Reporting Program (MMRP) will assure that timely mitigation of project impacts take place at the appropriate milestones and in accordance with project implementation.

Pursuant to California Government Code, Section 65451(a)(4), the following describes the financing measures or programs necessary to finance the infrastructure and service requirements to support the Walnut Grove Specific Plan.

8.1. Administration

8.1.1. Purpose and Applicability

All development within the Walnut Grove Specific Plan area shall comply with the requirements and standards set forth in this Specific Plan document and the accompanying environmental documentation, conditions of approval and Mitigation and Monitoring Report. Where conflicts exist between the standards contained in this Specific Plan and those found in the City of West Covina Comprehensive Zoning Ordinance or Municipal Code, the regulations and standards in the Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of West Covina Zoning Code, Municipal Code or General Plan, using the context and objectives of the Specific Plan as a guide. 5-2 April 2013 The name “Walnut Grove Specific Plan” refers to this specific plan document and its supporting information. The final marketing name of the project may differ and will be determined by the project’s Developer/Builder.

8.1.2. Interpretation

The development standards and regulations contained in this Specific Plan shall supersede the standards contained in the West Covina Municipal and Zoning Codes, except where specifically provided in the Specific Plan. Whenever the provisions contained in the Specific Plan conflict with the Municipal or Zoning Codes, the provisions of the Specific Plan shall take precedence. Any ambiguity concerning the content or application of the Walnut Grove Specific Plan shall be resolved by the City’s Community Development Department, its Director or their designee. Such interpretations shall take into account the stated goals and intent of the Specific Plan. If requested, the Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

8.1.3. Application Processing

At the time of adoption of the Walnut Grove Specific Plan, concurrent applications shall be approved for overall site development, General Plan Amendment, Zone Change, and Tentative Tract Map.

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The Application Processing Section is intended to provide the regulatory framework for any subsequent entitlements that shall be required and is consistent with the West Covina Municipal Code.

8.2. Specific Plan Amendments/Minor Modifications

8.2.1. Specific Plan Amendments

If a project applicant seeks a modification or adjustment to the Specific Plan which is deemed by the Planning Division to be a substantial modification, the Community Development Director shall have the discretion to refer any such requests to the City's Planning Commission for review and consideration. Minor modifications and adjustments to the Specific Plan may be approved by the City's Community Development Director or their designee as stated in Section 8.2.2 below.

An amendment to the Specific Plan is required if the following occur:

- a. Changes to the overall Specific Plan boundaries;
- b. A change in any other provision, purpose, or standard of the Specific Plan, which would significantly alter the basic intent, identity, or concepts of the Specific Plan; or
- c. An increase in the overall development density thresholds within the Specific Plan.

An applicant may request amendments to the Walnut Grove Specific Plan at any time pursuant to Section 65453(a) of the Government Code.

An amendment to the Specific Plan requires public hearings, including a recommendation by the Planning Commission and approval by the City Council. Specific Plan amendments are governed by California Government Code, Section 65456, and require an application and fee to be submitted to the City's Planning Division. The application shall state in detail the reasons for the proposed amendment.

The Walnut Grove Specific Plan shall not be approved or amended unless the following findings are made by the Planning Commission and City Council:

- The Specific Plan or amendment systematically implements and is consistent with the General Plan;
- The Specific Plan allows for a more coordinated and cohesive development compared to what is allowed under traditional zoning classifications; and
- The Specific Plan or amendment provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required for the long term needs of the project and/or other area residents and complement the orderly development of the City of West Covina.

If the proposed amendment requires additional environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) for the proposed amendment are responsible for all fees and costs associated with the preparation of any necessary CEQA documentation.

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8.2.2. Minor Modifications

In order to provide flexibility to the project review process, the Planning Division, without a public hearing, may approve through a Minor Site Plan Review any minor adjustments to the project of a development standard for yards, setbacks, and architecture.

The Community Development Director or their designee may allow minor modifications or adjustments to the Specific Plan through an administrative review process, so long as those minor modification and adjustments are consistent with the intent of the Specific Plan.

Minor modifications may be warranted to accommodate changes resulting from final design and engineering that cause adjustments in roadway alignments, location of utilities or other infrastructure, development of innovative product design, or other similar modifications deemed to be minor.

Minor modifications or technical adjustments may include, but are not limited to the following:

- a. Modifications necessary to comply with final Conditions of Approval or mitigation measures;
- b. Addition of information to the Specific Plan (including maps or text) for purposes of clarification that does not change the intent of any plan or regulation, as well as correction of any clerical or grammatical errors;
- c. Adjustments to the alignment, location and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City's Engineering so long as the adjustments or changes are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities;
- d. Minor adjustments to any of the development standards or regulations such as modification of wall heights for noise attenuation purposes, modification of allowable encroachments into setbacks, etc. that are specifically allowed under the Development Regulations of this Specific Plan;
- e. Minor changes to landscape materials, wall materials, entry design, and streetscape design which are consistent with the design criteria set forth in the Design Guidelines of the Specific Plan;
- f. Minor changes to the architectural or landscape design guidelines, which guidelines are intended to be conceptual in nature and flexible in implementation; and
- g. Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, improves infrastructure, or provides similar utility and reduces operations and maintenance costs.

The minor modifications described and listed above are not comprehensive. Any modification that is deemed by the Community Development Director to be in substantial conformance with the purpose and intent of the Specific Plan shall be permitted. The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo any necessary technical review by City agencies or departments as the Community Development Director or their designee deems necessary.

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8.2.3. Appeals

An appeal of any determination, decision, or requirement of City staff or the Planning Commission shall be made in conformance to the appeal procedures established by the West Covina Municipal Code.

8.3. Infrastructure and Public Service Financing Plan

8.3.1. Infrastructure

All private infrastructure improvements shall be funded entirely by the developer of the project. Public improvements shall be conditioned to be completed by the developer as determined appropriate by the City. The developer shall pay any applicable fees to the City of West Covina or other agencies if required for connection and/or capacity expansion fees (or other similar fees). The City of West Covina shall ensure and the Developer shall install adequate facilities available to serve the project prior to the issuance of an occupancy permit for any portion of the project.