

CITY OF WEST COVINA

# *Vincent Place*

**DRAFT SPECIFIC PLAN**

*February 2021*



# **Vincent Place Draft Specific Plan**

**Prepared for:  
City of West Covina  
1444 West Garvey Avenue West  
Covina, CA 91790**

**February 2021**



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# Executive Summary

The Vincent Place Specific Plan encompasses approximately 8.05 acres of land located at the southwest corner of West Workman Avenue and Vincent Avenue in the City of West Covina, California. **Exhibit 1.1: Vicinity Map**, illustrates the location and setting of the specific plan area.

The existing project site includes a former elementary school that currently houses early childhood programs and childcare. The site consists of educational buildings, play structures, and play fields.

The site is surrounded by West Workman Avenue on the north; North Vincent Avenue and West Garvey Avenue North on the East; two-story residential apartment buildings and townhomes on the south; and single-story single-family homes on the west. Retail and auto service uses are located across Vincent Avenue. Interstate 10 (I-10) provides regional access to the site, with on- and off-ramps available at

Vincent Avenue. Downtown West Covina is located immediately south of I-10, less than a quarter mile from the project site. Regional mass transit, provided by Foothill Transit, is available via bus stops located on Vincent Avenue, directly across the street from the project site and slightly north of Workman Avenue; and at Plaza West Covina, located less than a quarter mile south of the specific plan area.

As illustrated in **Exhibit 1.2: Conceptual Site Plan**, The Vincent Place Community consist of 47 two-story detached cluster homes and 72 three-story attached townhomes (119 total homes) arranged around a common recreation area. The community design creates a transition between existing single-family residential neighborhoods located west and north of the specific plan area to multi-family homes, commercial uses, and West Covina's downtown located south and east of the specific plan area. The centralized common area includes amenities and opportunities for relaxation, recreation, and social interaction.

The architectural design of the project includes a blend of traditional and transitional architectural styles consistent with the design character of adjacent neighborhoods. Detached cluster homes consist of two-story Spanish Colonial, Santa Barbara and Coastal styles that complement single-family homes along West Workman Avenue. Three-story townhome buildings are designed in a Contemporary Eclectic style that blends traditional and contemporary design elements to convey a more urban character along Vincent Avenue, a busy Principal Arterial that transitions from single family homes near West Workman Avenue to commercial uses as it approaches the I-10 Freeway and Downtown West Covina to the south.

Construction is anticipated to occur in two (2) phases:

- (1) Phase one consists of demolishing the existing school buildings and associated improvements, site preparation and grading, and utility installation. This phase is anticipated to last approximately 6 months.
- (2) Phase two will consist of roadway improvements and building construction. Phase two may be further divided into sub-phases and is anticipated to last approximately six (6) months depending upon market conditions.

The project site is currently zoned Single Family (R-1) with a General Plan designation of Civic: School. Entitlements required for the project include the following:

- (1) Adoption of a General Plan Amendment to change the land use designation from Civic: School to Neighborhood Medium Density Residential (9-20 units per acres)
- (2) A Zone Change to Specific Plan (SP-30: Vincent Place) to accommodate the proposed density and design.

- (3) Adoption of this Specific Plan.
- (4) Approval of a Precise Plan and Tentative Tract Map.

Environmental review for the project will comply with the requirements of the California Environmental Quality Act (CEQA).

The Vincent Place Specific Plan is organized into the following sections:

Chapter 1 - Introduction: Introduces the reader to the project setting, regulatory context, relationship to the General Plan, Specific Plan Objectives, and Community Overview.

Chapter 2 - Circulation, Land Use & Standards: Describes the land use and circulation for the site; establishes permitted uses and development intensity; Provides development standards for private roadways and each land use including minimum setbacks, building height limits, parking requirements, and more.

Chapter 3 - Architectural Design Guidelines: Provides graphic conceptual representations of the intended

architectural design including styles, colors and materials, and other design guidelines.

Chapter 4 - Landscape Design Guidelines: Provides a graphic representation of the intended landscape design for the community including plant palettes and specifications for design elements such as mailboxes, seating, signage, and more.

Chapter 5 - Infrastructure & Services: Describes the required infrastructure and services needed to support the project including grading, water, sewer, stormwater drainage and treatment, waste management, energy, emergency access and services, and more.

Chapter 6 - Implementation, Administration, & Financing: Describes the review process for subsequent development applications and how the proposed improvements will be financed.

Appendix A - General Plan Consistency: Provides a detailed analysis of the specific plan's consistency with general plan policies and actions as required by the Governor's Office of Planning and Research (OPR).

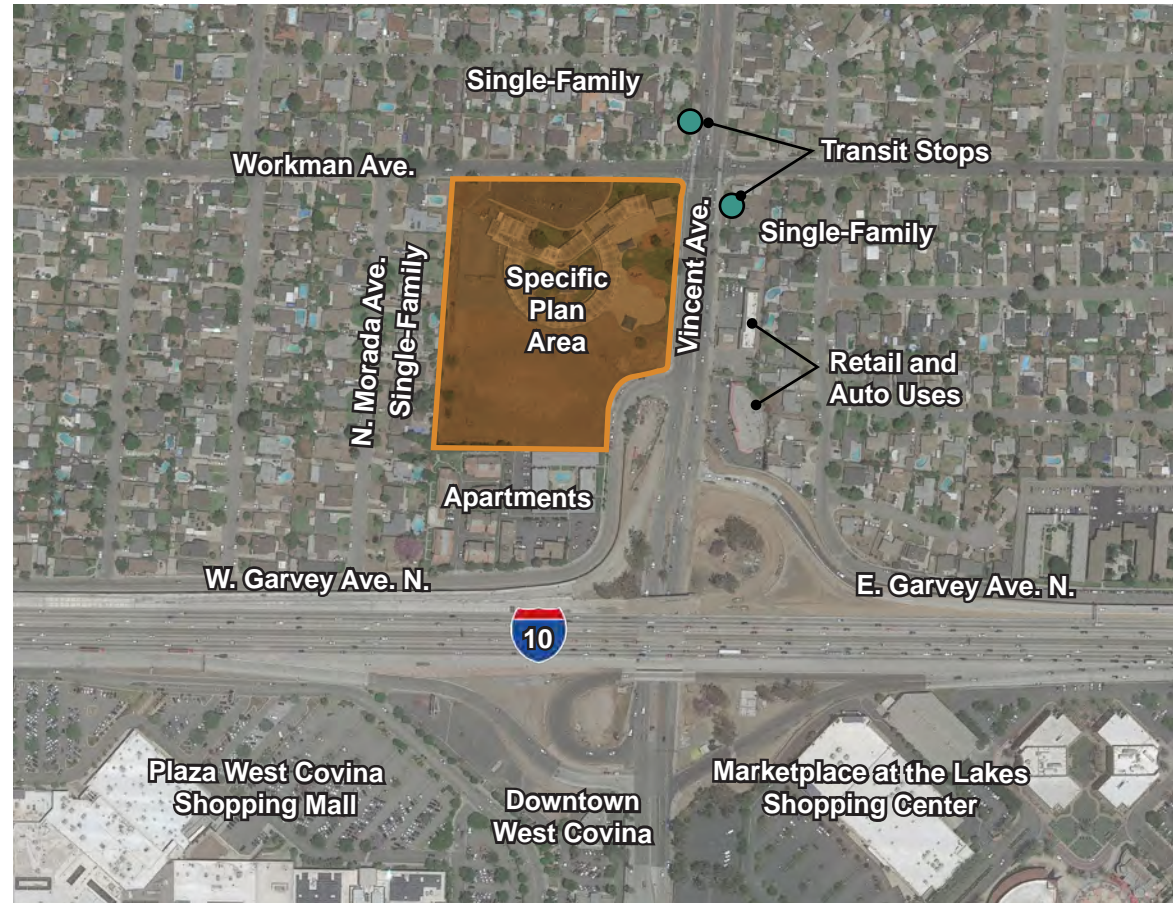
# 1 - Introduction

## 1.1 Location & Setting

The Vincent Place Specific Plan encompasses approximately 8.05 acres of land located at the southwest corner of West Workman Avenue and Vincent Avenue in the City of West Covina, California. **Exhibit 1.1: Vicinity Map** illustrates the location and setting of the specific plan area.

The specific plan area is located just north of Interstate 10 (I-10) at 1024 West Workman Avenue. Two major shopping centers, the Plaza West Covina (Westfield Shopping Town) and The Market Place at the Lakes, are located across the freeway less than a quarter mile south. These two shopping centers represent the northerly end of West Covina's downtown. As such, Vincent Avenue serves as a gateway to the downtown area.

Vincent Avenue and West Garvey Avenue North form the westerly edge of the specific plan area. Vincent Avenue



**Exhibit 1.1: Vicinity Map**

Not to Scale



Existing Vincent Avenue looking South; Specific plan area is on the right.



Existing West Workman Avenue looking West; Specific plan area is on the left.



Existing W. Garvey Ave. N. looking Northeast; Specific plan area is on the left.

includes on- and off-ramps to I-10 and a strip retail center with a small market and a gas and auto repair service station. Single-family homes are also located across Vincent Avenue toward the northern end of the specific plan area. These single-family homes on Vincent represent the beginning of the single-family residential neighborhoods that exist to the north and west. Two-story apartment homes and townhomes occupy properties on West Garvey Avenue North, immediately south of the specific plan area.

West Workman Avenue borders the northerly edge of the specific plan area. West Workman Avenue consists of single-family homes. This single-family neighborhood also forms the westerly edge of the specific plan area, consisting of single-story homes.

The specific plan area is the site of the Vincent Children’s Center, a preschool operated by Covina Valley Unified School District. The campus was originally developed as an elementary school site but was shut down in 1979 due to a declining student population. Special Education preschool classes, a General Child Care Program, and County Special Education classes were then moved to the campus. The site contains various buildings, play

structures, a parking lot, a large grass field, and limited trees.

Bus stops on Vincent Avenue provide access to Line 488. Line 488 is operated by Foothill Transit and serves El Monte, Baldwin Park, West Covina, Covina, and Glendora. Popular destinations include East Valley Hospital Medical Center, Charter Oak High School, YWCA, South Hills High School, West Covina High School, Plaza West Covina, West Covina Library, West Covina Court House, Queen of the Valley Hospital, Rio Hondo Bike Path, and Eastland Center.

Additional transit service is available at Plaza West Covina (Westfield Shopping Town), located across the freeway less than a quarter mile south. Several Foothill Transit lines run through the station providing access to Los Angeles and other distant destinations. Go West also operate services in the Plaza West Covina transit center. The Go West Shuttle service consists of three (3) alignments (Red, Blue, and Green) that serve destinations throughout the city including Plaza West Covina, Eastland Shopping Center, Heights Shopping Center, West Covina Civic Center, West Covina Senior Center, Cameron Community Center, and many more.

## 1.2 Regulatory Context

As part of the specific plan process, a General Plan Amendment was processed concurrently to change the land use designation of the specific plan area from Civic: School to Neighborhood Medium Residential, which allows for a density 9-20 dwelling units per acre. This density range is consistent with the zoning density of existing apartments and townhomes located to the south.

A Zoning Change was also processed concurrently to rezone the property from Single-Family Residential (R-1) to Specific Plan (SP-30: Vincent Plan), thereby implementing the Neighborhood Medium General Plan designation and requiring the preparation of this specific plan.

Sections 65450 through 65457 of the California Government Code authorize local jurisdiction to adopt specific plans. A specific plan is a legislative tool for the systematic implementation of the general plan. Specific plans can range from general policy documents to very detailed regulatory documents that specify every facet of development. This specific plan is regulatory in nature and serves as the zoning law for the specific plan area. As

such, this specific plan will be adopted by ordinance. All subsequent development plans, tentative parcel and/or tract map(s) and/or similar entitlements for projects within the specific plan area shall be consistent with the regulations set forth in the Vincent Place Specific Plan and with other applicable City of West Covina regulations. Where the Vincent Place Specific Plan is silent, the West Covina Municipal Code (WCMC) shall govern.

If any section, subsection, sentence, clause, phrase, or portion of the Vincent Place Specific Plan, or any future amendments or additions, is for any reason held to be invalid or unconstitutional by the decision of any court or competent jurisdiction, such decision shall not affect the validity of the remaining portions of this specific plan or any future amendments or additions.

### 1.2.1 Statutory Requirements

Section 65451 of the Government Code mandates that a specific plan shall include all of the following in detail:

- (1) The distribution, location, and extent of land uses, including open space (Please see Land Use in Chapter 2).

- (2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed and needed to support the land uses described in the plan (Please see Chapter 2 for transportation, i.e. circulation, and Chapter 5 for utilities and services).

- (3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable (Please see Development Standards in Chapter 2).

- (4) A program of implementation measures including regulations, programs, public works projects, and financing measures (Please see Chapter 6).

In addition, the specific plan shall include a statement of the relationship of the specific plan to the general plan.

## 1.2.2 General Plan Relationship

The primary purpose of a specific plan is to implement the general plan. State law requires specific plans to include a statement about the relationship between the specific plan and the adopted general plan. Specific Plans are required to be consistent with the adopted general plan of the jurisdiction in which it is located. In turn, all subsequent subdivisions and development plans must also be consistent with the general plan.

A major theme of the general plan is to direct development toward the downtown area. Although the specific plan area is not directly located in the downtown, it is immediately adjacent and meets the intent of providing infill development that supports downtown uses.

The Vincent Place Specific Plan also implements the general plan by creating a sustainable, walkable community; creating a diversity of housing options; providing infill development; and providing new growth that completes, enhances, and reinforces the form and character of West Covina neighborhoods. Please refer to Appendix A for an in-depth analysis of all applicable general plan policies and actions.

## 1.3 Specific Plan Objectives

To ensure the implementation of the goals and policies of the general plan, the following objectives have been established for the Vincent Place Specific Plan:

- (1) Locate lower density housing adjacent to existing single-family homes and higher density housing adjacent to existing multi-family and retail uses.
- (2) Require new development to include design features that preserve the privacy of existing adjacent residential backyards.
- (3) Design new homes that improve the Vincent Avenue corridor as a transitional gateway to West Covina's downtown while respecting the residential character of the adjacent neighborhood.
- (4) Engage surrounding neighborhoods by facing front doors toward public streets and providing porches, patio walls, and similar features that define the street edge and add pedestrian scale.
- (5) Enhance community design through landscaping and recreational amenities that promote a high-quality living environment.
- (6) Implement sustainable development practices that promote water and energy efficiency, minimize impacts to stormwater, and support alternative modes of travel.
- (7) Establish a Homeowners Association (HOA) to ensure that the Vincent Place Community is well maintained and remains an asset to the neighborhood.



## 1.4 Community Overview

The Vincent Place Specific Plan proposes to redevelop a school site with 119 residential homes, including 47 detached cluster homes and 72 attached townhomes, arranged around a centralized common recreational area. Please refer to **Exhibit 1.2: Conceptual Site Plan**.

The Conceptual Site Plan has been designed to create the transition between existing single-family neighborhoods and more intense multi-family and commercial uses.

Two-story detached homes are located in the north and west portions of the specific plan area, adjacent to existing single-family neighborhoods. Homes along West Workman Avenue have been oriented with front doors facing the street to complete and complement the residential streetscene across the street. Architectural styles reflect the traditional character of the surrounding neighborhood. Porch elements support the traditional style of the streetscape and provide variety and pedestrian scale.

Homes along the westerly edge are required to provide a minimum 20-foot setback from the specific plan boundary to maintain an adequate distance from existing single-family homes. Additionally, this edge will include a community wall and landscaping designed to preserve neighbor privacy.

Three-Story attached townhomes are located adjacent to Vincent Avenue, West Garvey Avenue North, and multi-family properties to the south. Development standards, including height and parking requirements, are based on development standards for the MF-20 zone to ensure consistency with adjacent properties to the south, which are also zoned MF-20.

Along Vincent Avenue, homes and landscaping are designed to reflect Vincent Avenue's role as a transitional gateway to West Covina's downtown area. Similar to the streetscene across the street, the Vincent Avenue frontage consists of detached traditional style homes that give way to a more urban streetscene as one travels south toward downtown. Three-

story townhomes along the southerly segment of Vincent Avenue are designed in a Contemporary Eclectic style that blends traditional and contemporary design features. This blend of features complements the traditional style of nearby single-family neighborhoods while still offering a more contemporary aesthetic as envisioned for West Covina's downtown.

### Primary Entry

- Formal entry with restricted parking, sidewalks on both sides, enhanced paving and landscaping, and monumentation
- Terminates on green space to provide a visual focal point

### Buffer

- Minimum 20-foot setback between the specific plan area boundary and new homes
- Landscaped to preserve privacy of existing neighbors

### Detached Cluster Homes

- 47 two-story homes provide a transition between single family and multi-family uses
- Clustered around a common Motor Court to remove garages from streetscape
- Oriented to face front doors toward West Workman Avenue and interior private Lane for superior streetscenes.



## Exhibit 1.2: Conceptual Site Plan

Not to Scale



### Central Park

- Central Recreation area with tot-lot, picnic area, barbecues, open turf area, mailboxes, and more
- Provides a social space for residents to gather

### Attached Townhomes

- 72 three-story homes
- Garages accessed from a rear private alley
- Front doors face Vincent Avenue to create a pedestrian friendly frontage that engages the sidewalk
- Interior to the site, front doors face paseos and common areas

### Secondary Spaces

- Additional recreational space includes gardens, pet amenities, and seating areas for additional outdoor living space

### Secondary Entry

- Minor entry provides efficient circulation and access
- Minor monumentation features announce entry

For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.

# 2 - Circulation, Land Use & Standards

## 2.1 Land Use

The Vincent Place Specific Plan allows for an overall density of 14.8 dwelling units per acre, consistent with the general plan designation of Neighborhood Medium Residential (9-20 dwelling units per acre).

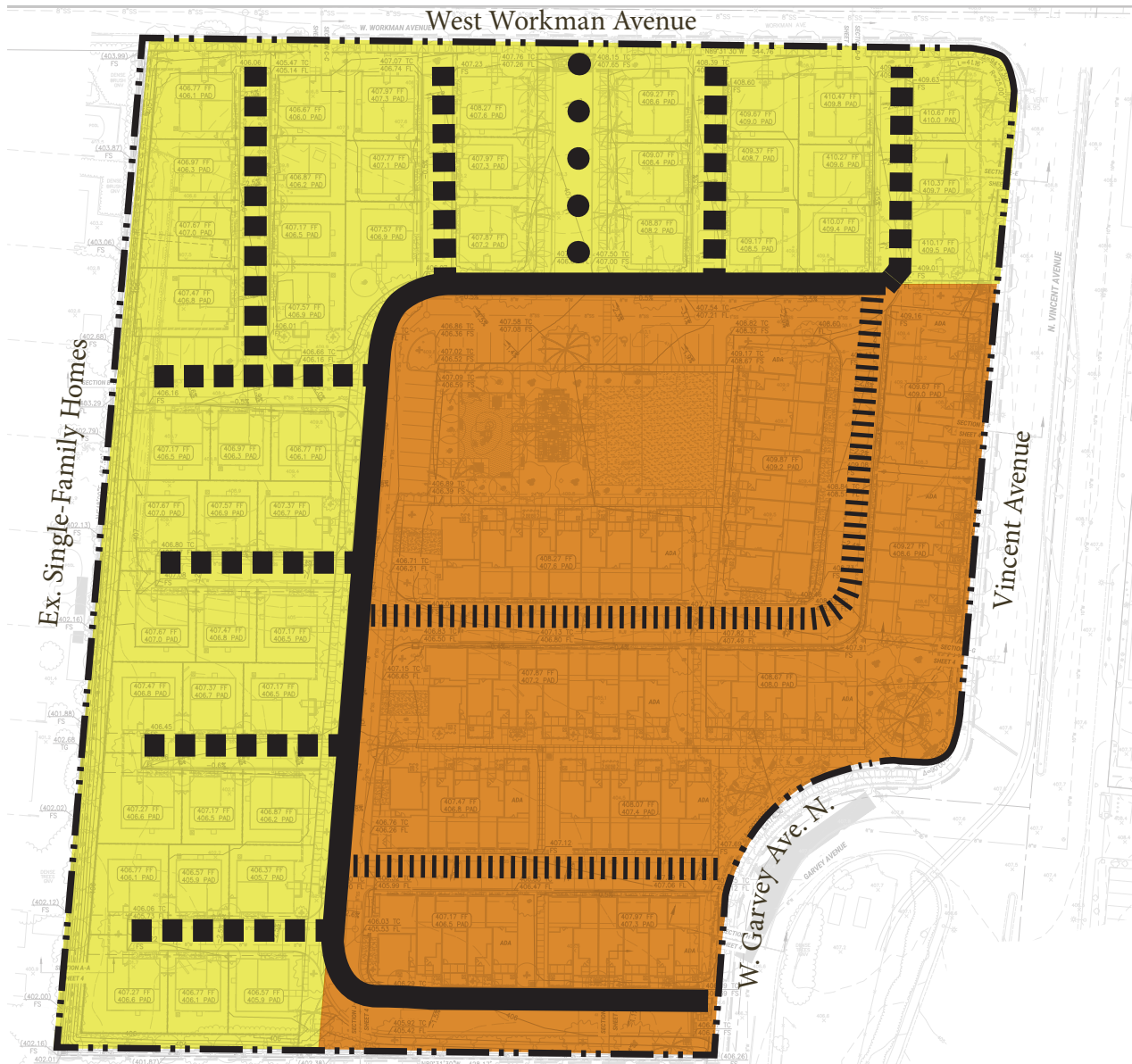
In order to implement the general plan policy of providing diverse housing types, the property has been rezoned to Specific Plan (SP-30: Vincent Place Specific Plan). The Specific Plan zoning designation allows for the adoption of Specific Plan land uses that further define the location and intensity of proposed development and allow for the creation of unique development standards and housing types that would not otherwise be permitted by the current zoning code.

One of the specific plan's objectives is to transition density across the site to "Locate lower density housing adjacent to existing single-family homes and higher

density housing adjacent to existing multi-family homes and retail." In keeping with this objective, the specific plan establishes two land uses:

- **Residential Detached (RD)** permits the development of up to 47 two-story detached homes and ancillary uses. This type of home bridges the gap between townhomes and single-family homes by offering the equivalent of a detached townhome.
- **Residential Attached (RA)** permits the development of up to 72 three-story attached townhomes and ancillary uses.

Permitted ancillary uses within both land uses include the keeping of household pets and home occupations as permitted by the WCMC in Multi-Family Zones, recreational amenities, parking, landscaping and similar uses that support urban living.



**Legend**

- Residential Detached (RD)
- Residential Attached (RA)
- Private Primary Entry Lane
- Private Lanes
- Private Alleys
- Motor Courts



**Exhibit 2.1: Land Use & Circulation Map**

Not to Scale

## 2.2 Circulation

West Workman Avenue is classified as a Residential Connector in the West Covina General Plan. Residential Connectors serve primarily local traffic and have a design speed of 30 mph, five-foot sidewalks, and on-street parking. Frontage improvements to West Workman Avenue include the preservation of the existing five-foot sidewalk, parkway, and on-street parking. The primary access to the specific plan area shall be provided via West Workman Avenue. New curb and gutter and a new curb cut at the entry will be provided.

Vincent Avenue is classified as a Residential Thoroughfare in the West Covina General Plan. Residential Thoroughfares serve high volumes of traffic and have a design speed of 40 mph and five-foot sidewalks. Frontage improvements to Vincent Avenue include the preservation of the existing 5-foot sidewalk and parkway.

West Garvey Avenue North is classified as a Local Street. Frontage improvements include the preservation of the existing 5-foot sidewalk and parkway. Secondary access shall be provided from West Garvey Avenue North. New curb and

gutter and a new curb cut at the entry will be provided.

New street trees will be planted as described in Chapter 4: Landscape Design Guidelines.

Access and circulation through the project is provided by a series of private streets as illustrated in **Exhibit 2.1: Land Use & Circulation Map**. Private streets are designed to follow a hierarchy as described below:

- (1) The Primary Entry Lane is specially designed to announce arrival into the community.
- (2) Lanes provide primary vehicular access and sidewalks through the community.
- (3) Alleys provide garage access to attached townhomes and a loop for fire and waste collection vehicles.
- (4) Motor Courts are shared driveways that provide both garage and front door access to the detached homes. These intimate motor court spaces often double as a shared courtyard space where children play and neighbors gather.

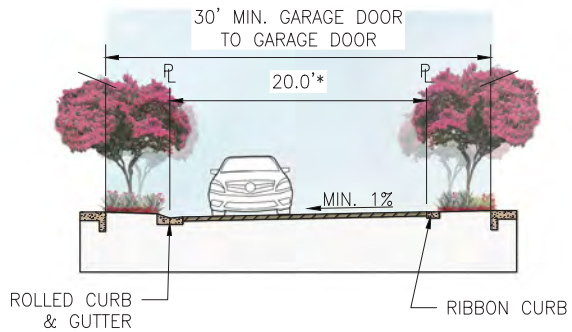
**Exhibit 2.2: Typical Private Street Cross Sections** illustrates the minimum design standards for each type of street.

Private streets that provide emergency vehicle access are required to provide a minimum width of 26 feet and a minimum outside turning radius of 45 feet. Please refer to Chapter 5 for the Fire Access Plan. All other alleys and shared driveways shall maintain a minimum width of 20 feet.

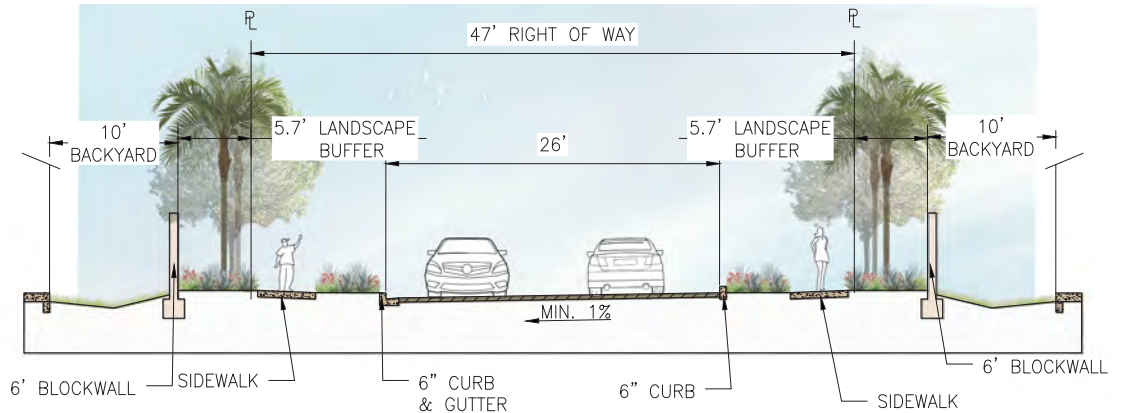
## 2.3 Development Standards

Development standards are generally based on the City of West Covina's existing Multi-family standards for communities with a density of 20 unit per acre (MF-20); however, some standards have been added or modified to better address the unique site adjacencies, the proposed housing types, and the objectives of this specific plan.

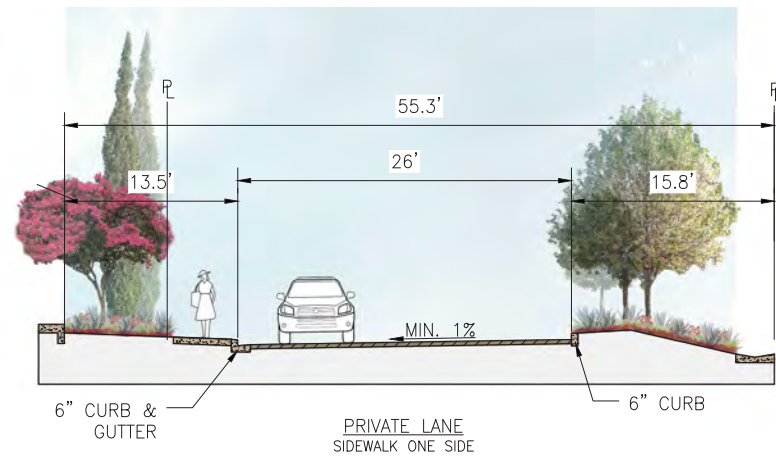
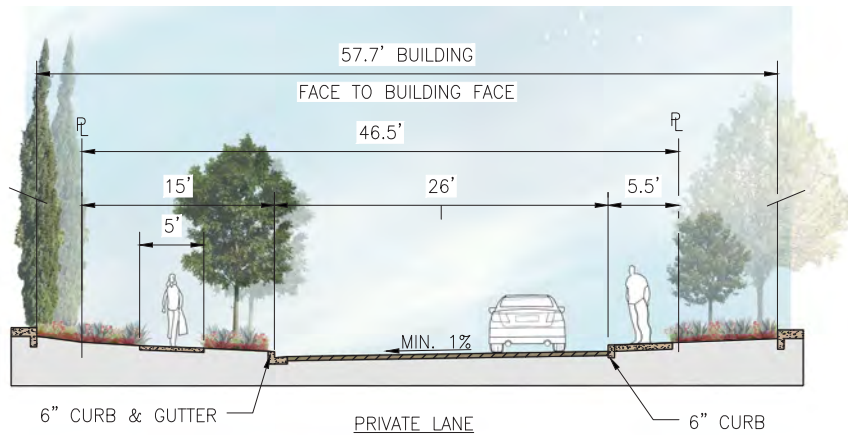
Any situations not specifically addressed by the Vincent Place Specific Plan shall be subject to the WCMC, provided that such regulations are not in conflict with the objectives of this specific plan.



**MOTOR COURT OR ALLEY**  
 \*SHALL MEASURE 26 FEET WHERE FIRE ACCESS IS REQUIRED



**PRIMARY ENTRY LANE**



**Exhibit 2.2: Typical Private Street Cross Sections**

Not to Scale

### 2.3.1 Residential Detached

Development standards for Residential Detached uses are provided in **Table 2.1: Residential Detached Development Standards** and illustrated in **Exhibit 2.3: Dimensioned Site Plan**.

**Table 2.1: Residential Detached Development Standards**

Standard	Requirement
Maximum Height	Two Stories and 27'
Max. Building Coverage	70%
Minimum Lot Area <sup>1</sup>	2000 SF
<b>Minimum Building Setbacks</b>	
To West Workman Avenue Right-of-way <sup>2</sup>	15' to Living Area/ 10' to Porch <sup>3</sup>
To Specific Plan Boundary (West PL)	15'
To Private Lane (Back-of-Walk)	8' to Living Area/ 5' to Porch
<b>Minimum Building Separation</b>	
Face of Garage to Face of Garage	30'
All other Separations	10'
<b>Private Outdoor Space</b>	
Minimum Area Required	150 SF
Minimum Dimension in any Direction	10'

1. Lot size requirements do not apply to commonly owned parcels.
2. Community Walls and Fences up to six (6) feet in height may encroach up to (3) feet in front of the living area. Please refer to Section 2.3.7 for wall and fence development standards.

### 2.3.2 Residential Attached

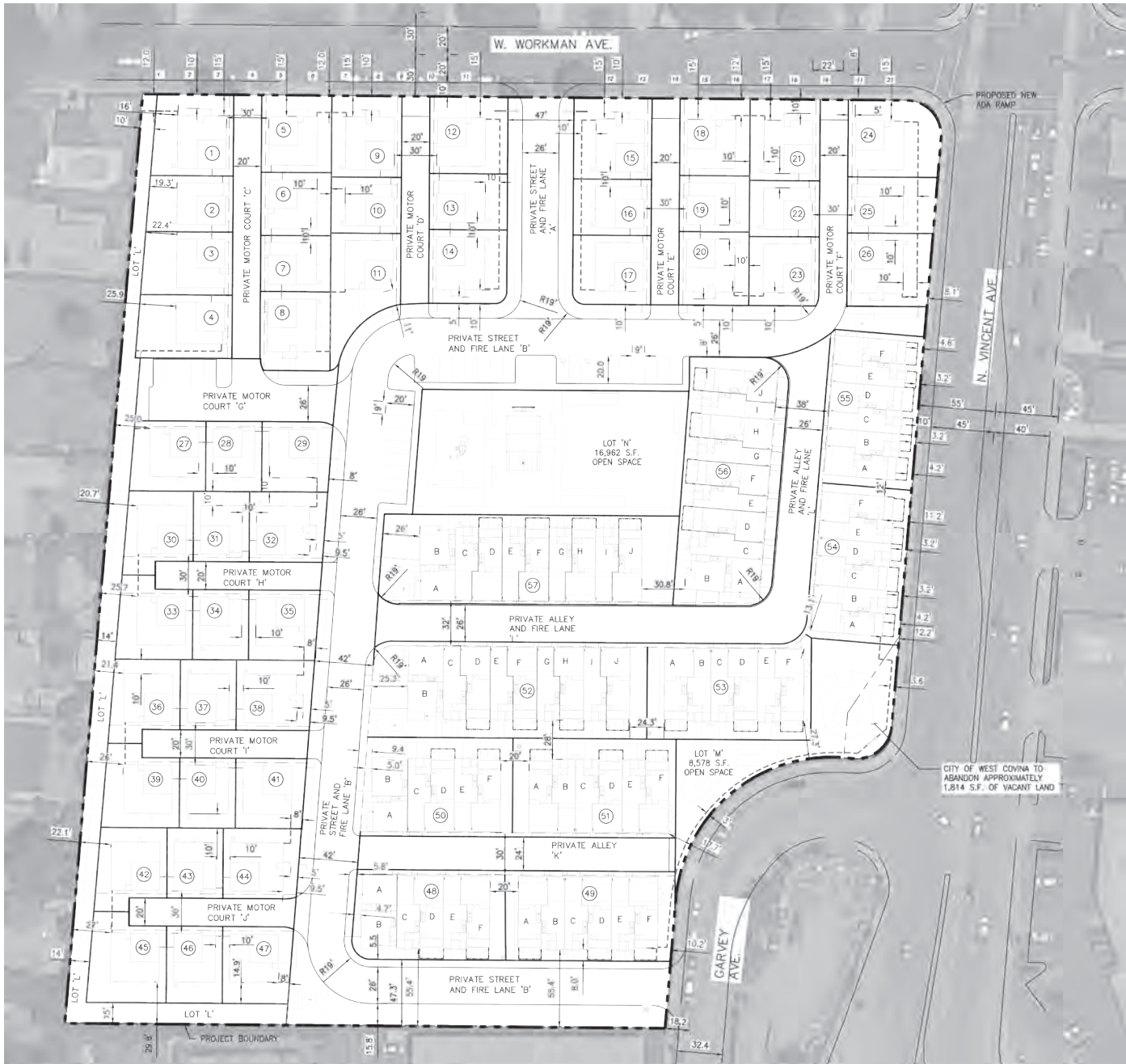
Development standards for Residential Attached uses are provided in **Table 2.2: Residential Attached Development Standards** and illustrated in **Exhibit 2.3: Dimensioned Site Plan**.

**Table 2.2: Residential Attached Development Standards**

Criteria	
Maximum Height	Three (3) Stories and 38'
Max. Building Coverage	None
Minimum Lot Area	None
<b>Minimum Building Setbacks</b>	
To Vincent Avenue and West Garvey Avenue North Rights-of-Way <sup>1</sup>	10'
To Specific Plan Boundary (South PL)	15'
To Private Lane	
Front <sup>2</sup> of Building to Back-of-Walk <sup>1</sup>	5'
Side of Building to Face-of-Curb	5'
<b>Minimum Building Separation</b>	
Face of Garage Door to Face of Garage Door	30'
Front to Front/Front to Side <sup>2</sup>	28'
All Other Separations	10'
<b>Private Outdoor Space</b>	
Minimum Area Required	60 SF
Minimum Dimension in any Direction	5'6"

1. Patio walls may encroach into setbacks. Patio walls shall be setback a minimum of 3-feet from public rights-of-way. Please refer to Section 2.3.7 for wall and fence development standards.
2. The front of building shall be defined as the longest edge of the building that provides front-door access to the majority of homes within the building.





For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.

**Exhibit 2.3: Dimensioned Site Plan**

Not to Scale

### 2.3.3 Common Open Space

Common open space areas provide a connection to the outdoors and opportunities for residents to relax, play, and socialize. These spaces contribute greatly to the livability of high density communities by providing a focal point for neighborhood design and softening the environment with rich textures, vibrant colors, and pleasing aromas.

The Vincent Place Specific Plan requires a minimum of 150 square feet of common area per home for a total of 17,850 square feet. This shall consist of the following:

- (1) A centralized space consisting of a minimum area of 10,000 square feet, a minimum dimension of 75 feet, and at least one (1) major amenity such as a play structure, sport court, picnic pavilion, pool, or similar.
- (2) Smaller secondary common open space areas with a minimum dimension of 10 feet may include walkways, landscaping, benches, and other passive or active amenities.

### 2.3.4 Parking Regulations

The number of parking spaces provided shall be in accordance with the WCMC standards for condominiums, which require a minimum of two (2) resident spaces per unit and one (1) guest spaces per every four (4) units.

For purposes of this specific plan, resident spaces shall be provided within a garage. Each garage space shall provide an unobstructed minimum area of 10'x20' with a vertical clearance of seven feet (7'). Spaces may be provided side-by-side or in a tandem configuration. Garages spaces shall be used for parking of vehicles only and shall be strictly enforced through the community's Covenants, Conditions, and Restrictions (CC&Rs). Electric Vehicle (EV) charging and bicycle parking shall be provided in accordance with CalGreen. Garage back up space shall be a minimum of 25 feet, which may include the driveway apron. Vehicles may only be parked in driveways with a minimum depth of 20 feet as measured to the back of sidewalk or curb, whichever is closest. Parking in driveways that do not meet this dimension shall be restricted by the CC&Rs.

Guest parking may be provided as perpendicular or parallel parking spaces. Perpendicular spaces shall provide a minimum dimension of 9'x20' and parallel spaces shall provide a minimum dimension of 8'x22'.

Guest parking shall be permanently maintained. Parking of commercial, recreational, and nonoperational vehicles in guest parking spaces shall be prohibited by the CC&Rs.

All parking and circulation areas within the specific plan area shall be surfaced with or paved with asphalt concrete, concrete, or other surface approved by the City Public Works Department, and shall thereafter be maintained in good condition by a HOA.

### 2.3.5 Landscape Regulations

All landscape plans shall conform to the landscaping criteria for multiple-family zones as specified in the WCMC, except as contained herein.

In lieu of the WCMC's required rear and side yard landscape screening requirements, the westerly and southerly specific plan boundaries shall be landscaped with plant materials and trees

appropriate in size and type to create a plant screen that preserves the privacy of adjacent residents, subject to the approval of the planning director, and as represented on the approved landscaping plan. Landscaping in front yards along Vincent Avenue and West Workman Avenue shall be maintained by the HOA to ensure it remains healthy and attractive.

### 2.3.6 Mechanical Equipment & Utilities

All utilities shall be placed underground whenever feasible. Above-ground equipment such as back flow preventers, pad-mounted transformers, and other pad-mounted equipment shall be screened to the extent permitted by the utility provider.

No mechanical equipment (air-conditioning, heating units, etc.) shall be mounted on, or attached to, any pitched roof. Ground mounted equipment shall be located in a fenced rear yard, behind patio walls, or otherwise screened to minimize the visual impact of equipment on streetscapes and common open space areas. Mechanical screens are not considered walls or fences and are permitted to encroach into required setbacks. Mechanical devices such as

exhaust fans, vents, and pipes shall be painted to match adjacent roof and wall surfaces.

Natural gas and electrical meters shall be mounted onto the external wall of the building. Builder shall contact the utility provider for minimum clearances.

### 2.3.7 Walls & Fences

Walls and fences shall comply with the WCMC except as described herein.

- (1) The height of all walls shall be measured from finished grade to top of wall. Pilasters may exceed maximum height by up to six (6) inches.
- (2) All walls shall be architecturally compatible with adjacent buildings and shall be of a consistent type, texture, and color throughout the specific plan area.
- (3) Walls adjacent to public rights-of-way shall consist of concrete, masonry, stucco, or decorative block. Tubular steel fencing shall also be permitted. Gates may consist of tubular steel or similar materials.
- (4) Patio walls within the required building setbacks along Vincent Avenue and West Workman Avenue and within paseos shall have a maximum height of 42 inches and shall consist of concrete, masonry, stucco, or decorative block. Patio gates may consist of tubular steel or similar materials. Other materials may be used if approved by the planning commission. Patio walls shall be set back a minimum of three (3) feet from any public right-of-way and this setback area shall be landscaped.
- (5) All other walls and fences 6-feet in height or taller, adjacent to Vincent Avenue and West Garvey Avenue North, shall be setback a minimum of three (3) feet. Solid walls shall be screened with landscaping to soften their visual impact on the streetscape and to assist in deterring graffiti.
- (6) All other walls and fences 6-feet in height or taller, along West Workman Avenue shall be subject to the required building setback except that portions of walls that are less than 40 feet in length may encroach up to three (3) feet in front of living space to provide additional articulation along the streetscene.

(7) Except for patio walls, walls and fencing within the specific plan area shall have a maximum height of six (6) feet, unless otherwise required to attenuate sound pursuant to an approved acoustical study. Arbors and pedestrian portals at pedestrian access points may exceed this height by up to two (2) feet.

(8) Walls and fencing adjacent to Vincent Avenue, West Workman Avenue, and West Garvey Avenue North shall be maintained by the HOA to ensure they maintain a consistent appearance and remain in good condition.

(9) Graffiti-resistant coatings shall be used on all walls and fences to assist in deterring graffiti.

### 2.3.8 Storage

Each attached unit shall provide a minimum of 160 cubic feet of exclusive and secure ground-floor storage. The storage area shall be located within a garage, downstairs closet, or in an enclosed and lockable cabinet accessible from the exterior and in close proximity to the unit. Storage may be distributed

in multiple location; however, no inside dimension of such storage area shall be less than two (2) feet. The storage of furniture, appliances, and other similar equipment shall be within permanent buildings and completely screened from public view. Storage areas shall not obstruct any garage parking space's vertical or horizontal minimum dimensions as specified in Section 2.3.4.

All trash, garbage, recycling, and refuse carts shall be stored in a garage or private fenced yard such that they are screened from public view.

### 2.3.9 Lighting

Lighting shall be evaluated as part of the development review process and shall comply with following requirements:

- (1) Lighting devices shall be protected by weather resistant and vandalism resistant covers.
- (2) All lighting of buildings, landscaping, parking areas, or similar facilities shall be hooded and directed to reflect light away from adjoining properties and to minimize skyglow.

(3) Lighting shall be designed to provide the lowest level of illumination required, to the extent feasible, to minimize skyglow.

(4) Aisles, passageways, and recesses within the specific plan area shall be illuminated with an intensity of 0.25 footcandles at the ground level during the hours of darkness.

(5) Open parking lots and carports shall be provided with a maintained minimum of 0.5 footcandle of light on the parking surface during the hours of darkness, in accordance with the Dark Sky Society's recommendations for private parking lots.

### 2.3.10 Signage

All signage shall comply with the WCMC. Graffiti-resistant coatings shall be used on sign structures, glass panels or similar structures to assist in deterring graffiti.

# 3 - Architectural Design Guidelines

## 3.1 Purpose

The purpose of this section is to ensure that all development within the Vincent Place Specific Plan fulfills the specific plan objective of providing high quality architecture that responds to the adjacent neighborhood and corridor conditions.

## 3.2 Design Guidelines

The following design guidelines provide general design guidance to all architecture with the specific plan area. These design guidelines are intended to be flexible such that alternative designs are permitted as long as they meet the level of quality and character envisioned by this specific plan. All floorplans, elevations, and color schemes contained herein are conceptual in nature and may vary at final design.

### 3.2.1 Elevations

All publicly visible elevations shall incorporate building form, massing, roof designs, authentic details, and accent features at a comparable level of detail

as those expressed on the elevations contained herein. The features of the elevation should be consistent with the intended architectural style of the home and coordinate together to create a balanced and harmonious composition.

### 3.2.2 Roof Forms

A variety in roof forms, ridge and eave heights, and direction of hips or gables shall be required to avoid a monotonous roof lines as viewed from neighborhood streets, open space, and other public and common outdoor spaces

Roof materials should consider authenticity of style while balancing durability and building code requirements. Fascia elements should be consistent with the architectural style of the building.

### 3.2.3 Windows

Window details, including header, sill and trim elements shall be consistent with the architectural style of the building.

Window shapes and mullion patterns shall be consistent with the architectural style of the building. The shape and size of shutters shall be compatible with the window opening.

### 3.2.4 Details & Lighting

Exposed gutters and downspouts shall be colored to either match or complement the surface to which they are attached.

Carriage lights are permitted and shall be consistent with the architectural style of the building.

### 3.2.5 Sustainability

New homes shall be designed in accordance with the California Building Code, the most sustainable building code in the nation. The code requires features that promote energy and water efficiency, the use of alternative modes of transportation, improved indoor air quality, and more.

### 3.3 Detached Residential

Detached cluster homes are intended to create a transition between existing single-family neighborhoods to the west and proposed townhomes. These homes also provide a new and diverse housing choice that bridges the gap between traditional single-family homes and attached townhomes, offering detached living at an economical price. These homes are plotted along the northerly and westerly boundaries, adjacent to single-family neighborhoods, as illustrated in **Exhibit 3.2: Detached Cluster Home Conceptual Plotting Plan**

Detached residential homes shall be designed to engage West Workman Avenue and reflect the existing traditional

single-family character of this street as illustrated in **Exhibit 3.1: West Workman Avenue Streetscene**. This shall be achieved as follows:

- Orient homes to provide an inviting front door presence along West Workman Avenue.
- Include porches, stoops, or similar design features that engage the sidewalk and provide pedestrian scale.
- Design homes in traditional styles such as Spanish Colonial, Santa Barbara, and Coastal as illustrated in **Exhibit 3.3** through **Exhibit 3.6**. Other complementary traditional styles are permitted, subject to review and approval of the planning commission.

Detached homes are clustered together around a common motor court. A motor court is a shared driveway that provides access to garages and front doors and also acts as a gathering space for neighbors, creating a neighborhood within a neighborhood. Elevations facing motor courts shall therefore be designed as “front” elevations to create human scale and engage the motor court as a shared pedestrian space.

There shall be a minimum of three (3) detached floor plans, three(3) elevations per floor plan, and three (3) color schemes. This will create 27 different variations of detached homes that will be plotted in both standard and mirrored, i.e. reversed, orientations to ensure diversity throughout the community.



**Exhibit 3.1: West Workman Avenue Streetscene**

Not to Scale



### Legend

- Plan 3060 = 16 Homes
- Plan 3522 = 9 Homes
- Plan 3522x = 11 Homes
- Plan 3825 = 11 Homes

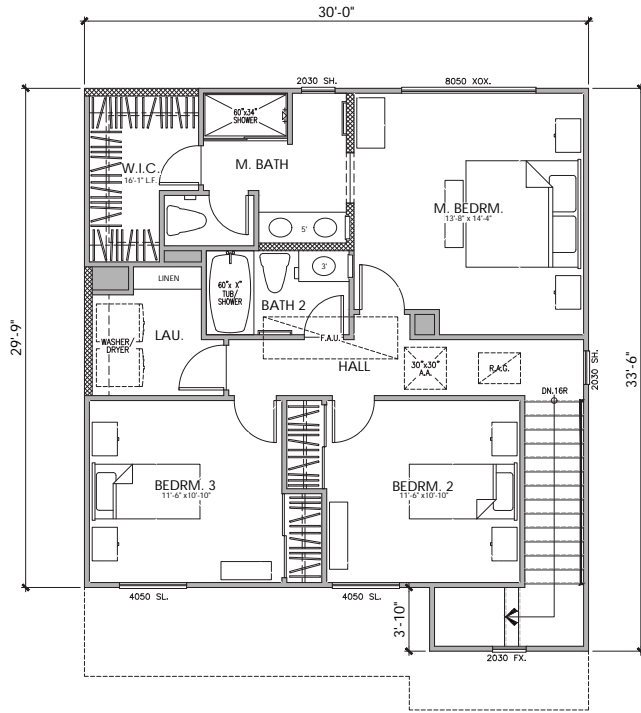
Total = 47 Homes

For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.

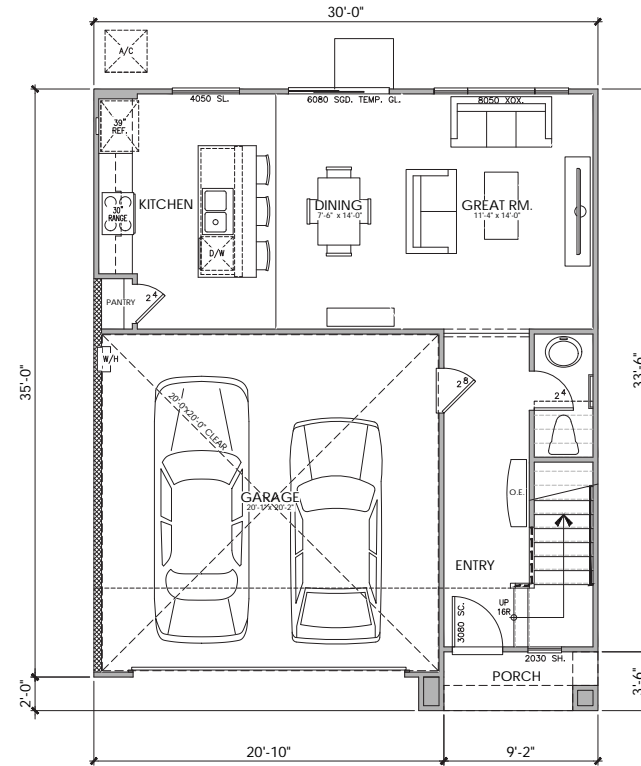
### Exhibit 3.2: Detached Cluster Home Conceptual Plotting Plan

Not to Scale





Second Floor



First Floor

PLAN 3060  
3 BEDROOM, 2.5 BATH

NOTE:  
ALL SECOND STORY WINDOWS  
ADJACENT TO WEST PROPERTY LINE  
SHALL HAVE FROSTED GLASS.

OCCUPANCY: R3/U  
SPRINKLER SYSTEM: NFPA 13D  
CONSTRUCTION: VB



Exhibit 3.3a: Plan 3060 Floor Plan

Not to Scale

PLAN 3060  
AREA TABULATION

CONDITIONED SPACE

FIRST FLOOR AREA	616 SQ. FT.
SECOND FLOOR AREA	849 SQ. FT.
TOTAL DWELLING	1,465 SQ. FT.

UNCONDITIONED SPACE

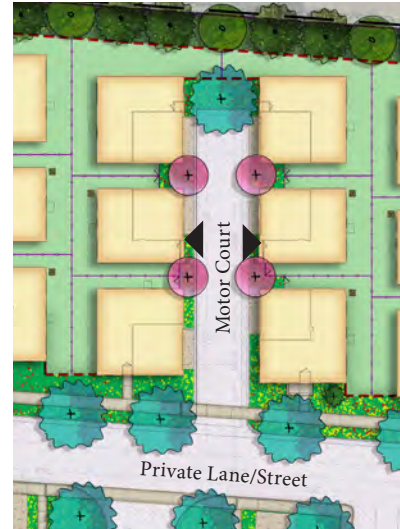
GARAGE	420 SQ. FT.
PORCH "A", "B", "C", "D" & "E"	35 SQ. FT.





© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

Santa Barbara - Motor Court Elevation



Typical Motor Court Elevation Key Map



© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

Coastal - Motor Court Elevation



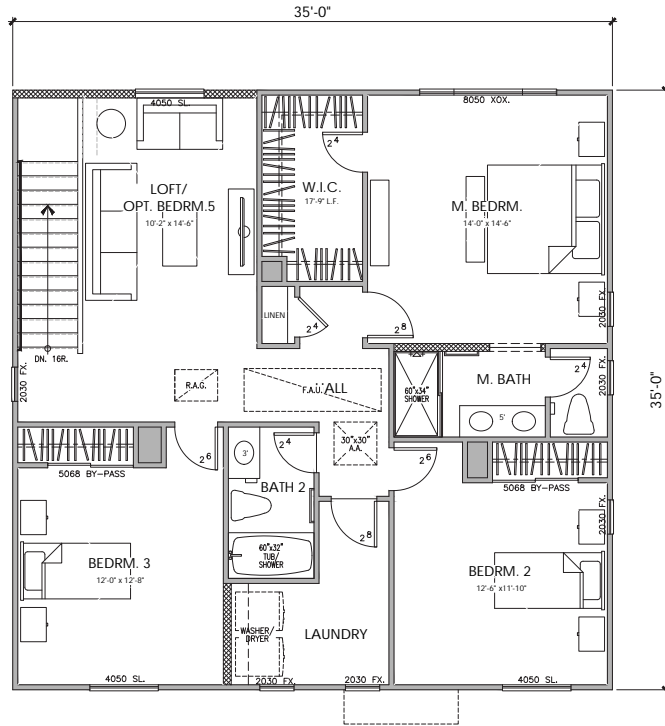
© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

Farmhouse - Motor Court Elevation

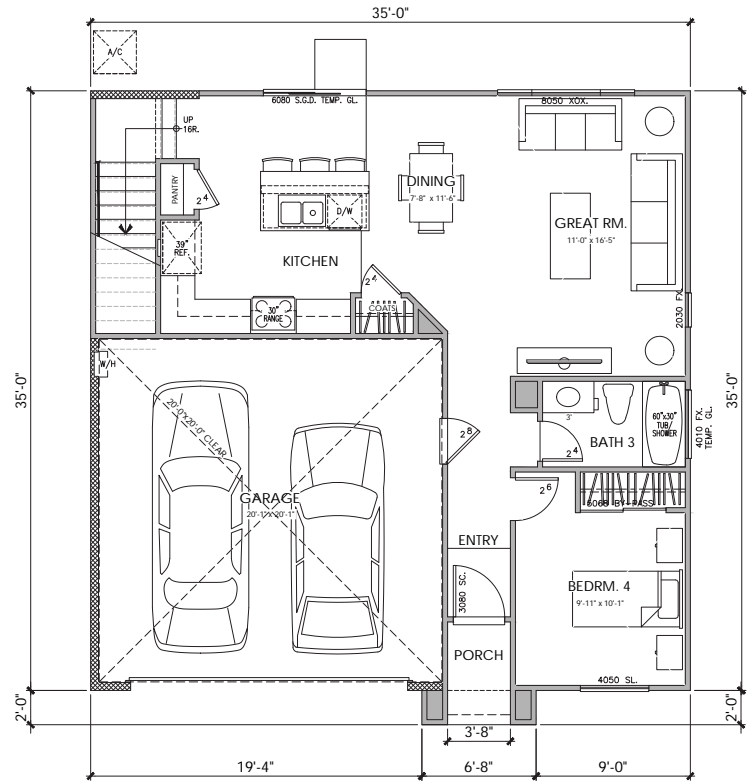


**Exhibit 3.3b: Plan 3060 Elevations**

Not to Scale



Second Floor



First Floor

PLAN 3522  
4 BEDROOM, 3 BATH, LOFT

OCCUPANCY: R3/U  
SPRINKLER SYSTEM: NFPA 13D  
CONSTRUCTION: VB

NOTE:  
ALL SECOND STORY WINDOWS  
ADJACENT TO WEST PROPERTY LINE  
SHALL HAVE FROSTED GLASS.



Exhibit 3.4a: Plan 3522 Floor Plan

Not to Scale

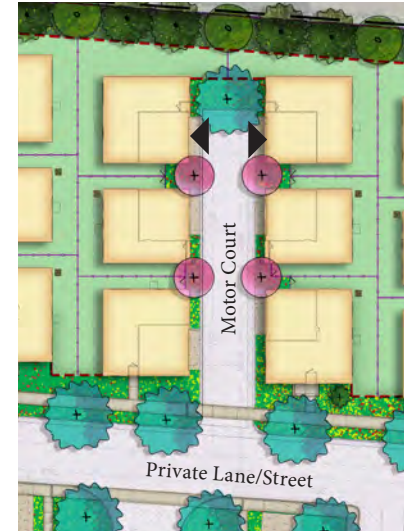
PLAN 3522  
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	787 SQ. FT.
SECOND FLOOR AREA	1,168 SQ. FT.
TOTAL DWELLING	1,955 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	423 SQ. FT.
PORCH	43 SQ. FT.



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Santa Barbara - Motor Court Elevation



Typical Motor Court Elevation Key Map



© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub location

Coastal - Motor Court Elevation



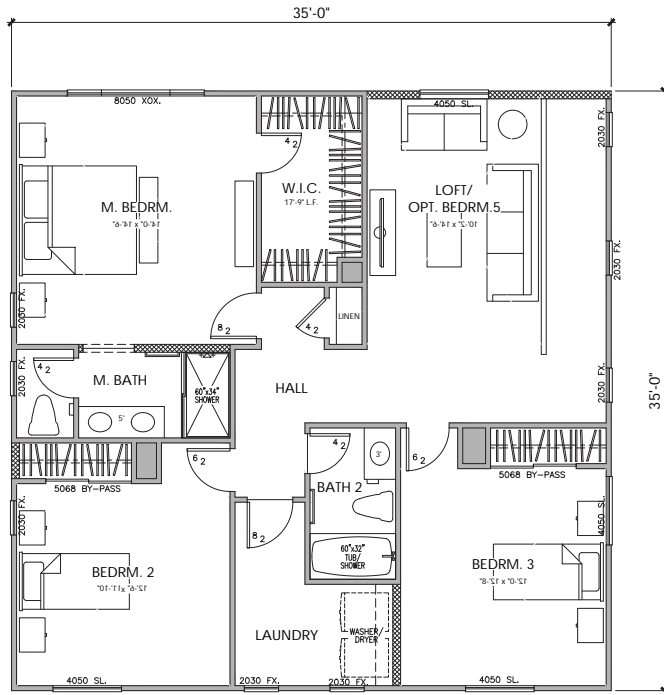
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Farmhouse - Motor Court Elevation



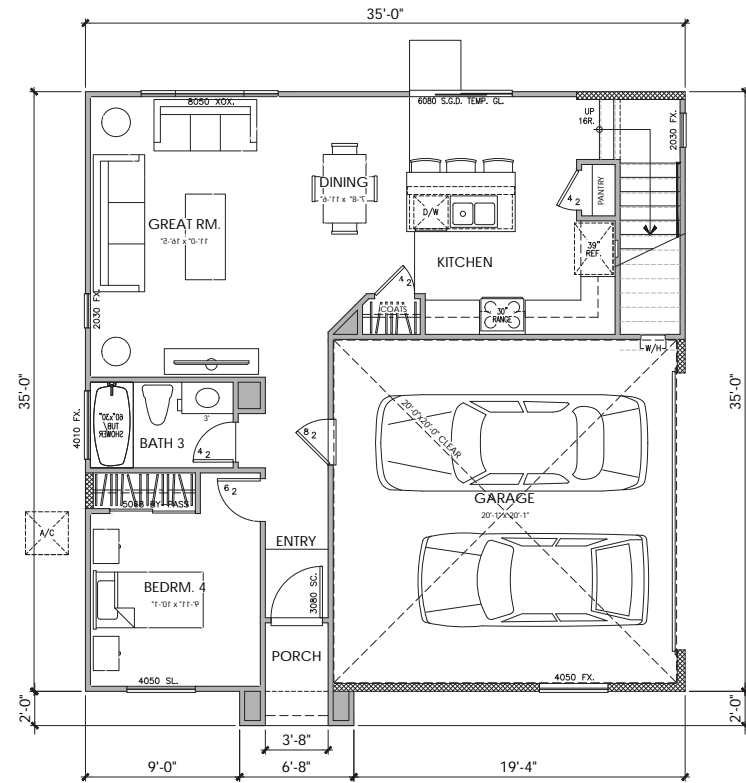
**Exhibit 3.4b: Plan 3522 Elevations**

Not to Scale



Second Floor

NOTE:  
ALL SECOND STORY WINDOWS  
ADJACENT TO WEST PROPERTY LINE  
SHALL HAVE FROSTED GLASS.



First Floor

OCCUPANCY: R3/U  
SPRINKLER SYSTEM: NFPA 13D  
CONSTRUCTION: VB

PLAN 3522XR  
4 BEDROOM, 3 BATH, LOFT

NOTE:  
ALL SECOND STORY WINDOWS  
ADJACENT TO WEST PROPERTY LINE  
SHALL HAVE FROSTED GLASS.



Exhibit 3.5a: Plan 3522x Floor Plan

Not to Scale



© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations.

Santa Barbara - Lane Elevation



© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations.

Coastal - Lane Elevation



© 2019 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations.

Farmhouse - Lane Elevation



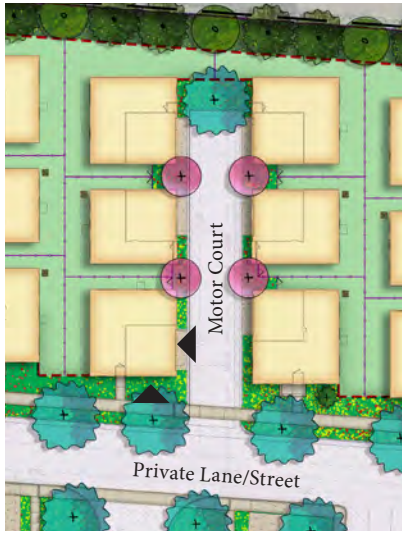
Santa Barbara - Motor Court Elevation



Coastal - Motor Court Elevation



Farm - Motor Court Elevation

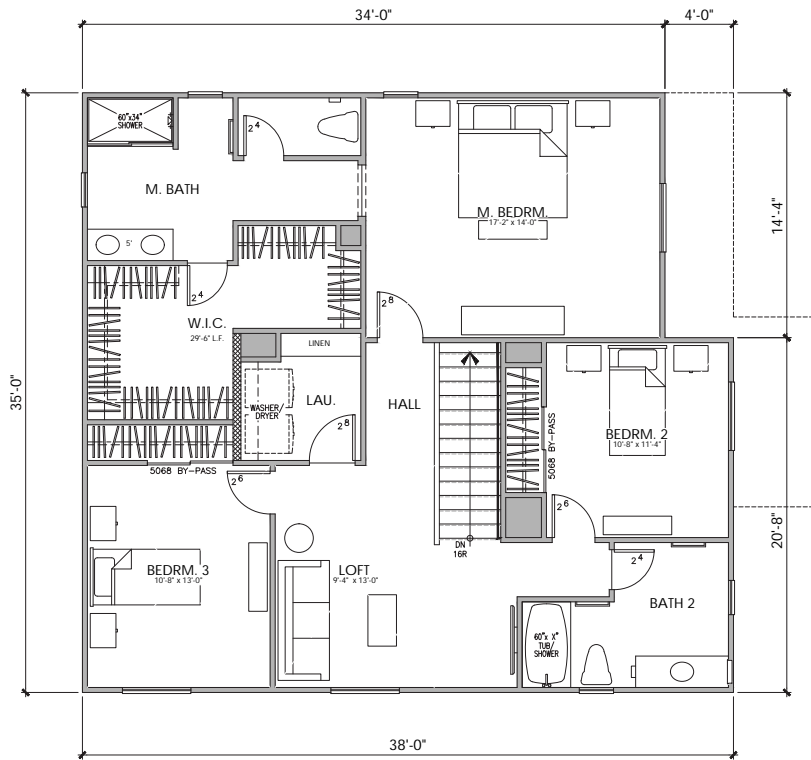


Typical Motor Court Elevation Key Map

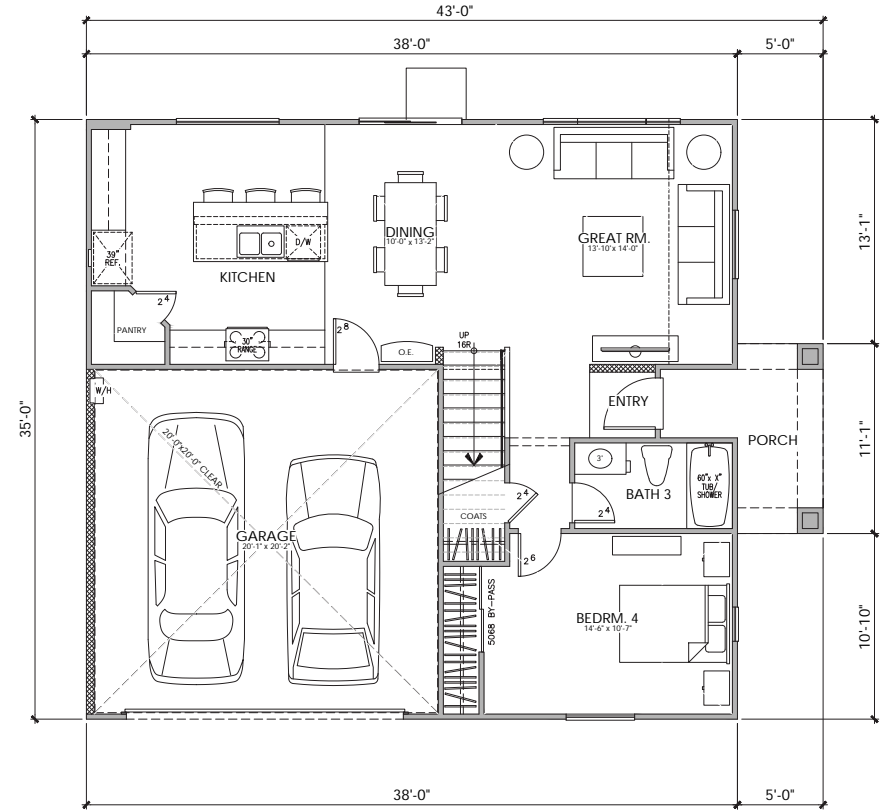


**Exhibit 3.5b: Plan 3522x Elevations**

Not to Scale



Second Floor



First Floor

PLAN 3825  
4 BEDROOM, 3 BATH, LOFT

NOTE:  
ALL SECOND STORY WINDOWS  
ADJACENT TO WEST PROPERTY LINE  
SHALL HAVE FROSTED GLASS.



Exhibit 3.6a: Plan 3825 Floor Plan

Not to Scale

OCCUPANCY: R3/U  
SPRINKLER SYSTEM: NFPA 13D  
CONSTRUCTION: VB

PLAN 3825  
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	893 SQ. FT.
SECOND FLOOR AREA	1,232 SQ. FT.
TOTAL DWELLING	2,125 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	419 SQ. FT.
PORCH "A", "B", "C", "D" & "E"	71 SQ. FT.

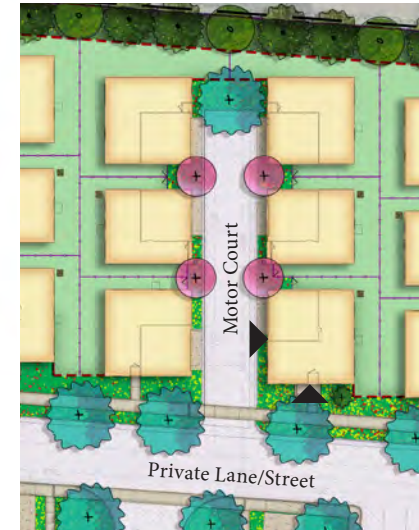


Santa Barbara - Lane Elevation



© 2019 Kevin L. Cook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

Santa Barbara - Motor Court Elevation



Typical Motor Court Elevation Key Map



Coastal - Lane Elevation



© 2019 Kevin L. Cook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

Coastal - Motor Court Elevation



Farmhouse - Lane Elevation



© 2019 Kevin L. Cook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

Farm - Motor Court Elevation



**Exhibit 3.6b: Plan 3825 Elevations**

Not to Scale

**Table 3.1: Detached Residential Color Schemes**

Material and color schemes for detached cluster homes will be used to reinforce architectural styles and provide variety in the streetscape. A minimum of three (3) color schemes per architectural style are required. Table 3.1 summarizes conceptual color schemes for detached homes, which are illustrated in Exhibits 3.7a though 3.7b. Alternative color schemes are permitted subject to administrative approval.

All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials and colors shall wrap architectural elements and terminate at inside corners.

<b>*B* ELEVATIONS SANTA BARBARA</b>			
	<b>SCHEME 4</b>	<b>SCHEME 5</b>	<b>SCHEME 6</b>
STUCCO	1572	5/8 A 668	1627
STUCCO PAINT MATCH**	SW7757 HIGH REFLECTIVE WT	SW7001 MARSHMALLOW	SW7038 TONY TAUPE
FASCIA / TRIM	SW6074 SPALDING GRAY	SW2806 ROOKWOOD BROWN	SW7040 SMOKEHOUSE
GARAGE DOOR	SW6075 GARRET GRAY	SW2808 RKWD DARK BROWN	SW7040 SMOKEHOUSE
FRONT DOOR / SHUTTERS	SW9125 OLIVIA OSCURO	SW6236 GRAY'S HARBOR	SW2839 ROYCROFT COPPER RED
GABLE END DETAIL	SW6061 TANBARK	SW6061 TANBARK	SW6061 TANBARK
ROOF: LOW PROFILE	1VICS7970	1VICS7970	1VICS7970
*S* VILLA	RED CASTLE	RED CASTLE	RED CASTLE

<b>*C* ELEVATIONS COASTAL</b>			
	<b>SCHEME 7</b>	<b>SCHEME 8</b>	<b>SCHEME 9</b>
STUCCO	1557	1631	1539
STUCCO PAINT MATCH**	SW7573 EAGLET BEIGE	SW6086 - SAND DUNE	SW7646 - FIRST STAR
SECONDARY STUCCO	SW6151 QUIVER TAN	SW6067 MOCHA	SW9170 ACIER
FASCIA / TRIM	SW7551 GREEK VILLA	SW7004 SNOWBOUND	SW7005 PURE WHITE
LAP SIDING / GARAGE DOOR	SW9117 URBAN JUNGLE	SW6088 NUTHATCH	SW7673 PEWTER CAST
FRONT DOOR / SHUTTERS	SW7745 MUDDLED BASIL	SW2837 AURORA BROWN	SW7069 IRON ORE
ROOF: FLAT COUNTRY	1FECY4070	1FECY4070	1FECY4070
SLATE	SEA PEARL BLEND	SEA PEARL BLEND	SEA PEARL BLEND

<b>*E* ELEVATIONS FARMHOUSE</b>			
	<b>SCHEME 13</b>	<b>SCHEME 14</b>	<b>SCHEME 15</b>
STUCCO	1577	1502	1527
STUCCO PAINT MATCH**	SW7052 - GRAY AREA	SW7571 - CASA BLANCA	SW7037 - BALANCED BEIGE
SECONDARY STUCCO	SW7053 ADAPTIVE SHADE	SW6150 UNIVERSAL KHAKI	SW7514 FOOTHILLS
BOARD & BATTEN	SW7044 AMAZING GRAY	SW9117 URBAN JUNGLE	SW7517 CHINA DOLL
FASCIA / TRIM / GARAGE DOOR	SW7042 SOJI WHITE	SW7105 PAPERWHITE	SW7028 INCREDIBLE WHITE
FRONT DOOR	SW7047 PORPOISE	SW7054 SUITABLE BROWN	SW7515 HOMESTEAD BROWN
SHUTTERS	SW7645 THUNDER GRAY	SW7061 NIGHT OWL	SW6237 DARK NIGHT
ROOF: FLAT SHAKE	1FBCJ0300 BRONZE PEARL BLD	1FBCJ0300 BRONZE PEARL BLD	1FBCJ0300 BRONZE PEARL BLD

<b>STUCCO:</b>	OMEGA
<b>PAINT:</b>	SHERWIN WILLIAMS
<b>ROOF:</b>	EAGLE
<b>veneER:</b>	BORAL

ALL FLASHING, GUTTERS, DOWNSPOTS ETC. TO BE PAINTED TO **MATCH** ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS.

\*\* FOR PHOTOSHOP & RENDERING PURPOSES ONLY, DO NOT USE IN THE FIELD

TODAS LAS TAPAJUNTAS, CAÑALERAS, CAÑALONES, ETC. SERAN PINTADOS PARA **IGUALAR** A LA SUPERFICIE DE JUNTO

TODAS LAS RESTAURAS DE PINTURA SE CORTARAN EN LAS ESQUINAS INTERIORES

\*\*SOLO PARA FINES DE PHOTOSHOP Y REPRESENTACIONES, NO USAR EN EL CAMPO



**SANTA BARBARA**  
SCHEME #4

STUCCO BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

GABLE END DETAIL

LIGHTING

**Meritage Homes**  
JOB #20201  
DEC. 07, 2020

**VINCENT PLACE**  
WEST COVINA, CA

Kevin L. Crook  
Architect  
Inc.

**SANTA BARBARA**  
SCHEME #5

STUCCO BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

GABLE END DETAIL

LIGHTING

**Meritage Homes**  
JOB #20201  
DEC. 07, 2020

**VINCENT PLACE**  
WEST COVINA, CA

Kevin L. Crook  
Architect  
Inc.

**SANTA BARBARA**  
SCHEME #6

STUCCO BODY

ROOF

FASCIA / TRIM

GARAGE DOOR

FRONT DOOR / SHUTTERS

GABLE END DETAIL

LIGHTING

**Meritage Homes**  
JOB #20201  
DEC. 07, 2020

**VINCENT PLACE**  
WEST COVINA, CA

Kevin L. Crook  
Architect  
Inc.



**Exhibit 3.7a: Santa Barbara Color & Material Schemes**

Not to Scale

**COASTAL  
SCHEME #7**

STUCCO BODY

ROOF

SECONDARY STUCCO

FASCIA / TRIM

LAP SIDING / GARAGE DOOR

FRONT DOOR / SHUTTERS

LIGHTING

**Meritage HOMES**  
JOB #2020  
DEC. 07, 2020

**VINCENT PLACE**  
WEST COVINA, CA

Kevin L. Crook  
**Architect Inc.**

**COASTAL  
SCHEME #8**

STUCCO BODY

ROOF

SECONDARY STUCCO

FASCIA / TRIM

LAP SIDING / GARAGE DOOR

FRONT DOOR / SHUTTERS

LIGHTING

**Meritage HOMES**  
JOB #2020  
DEC. 07, 2020

**VINCENT PLACE**  
WEST COVINA, CA

Kevin L. Crook  
**Architect Inc.**

**COASTAL  
SCHEME #9**

STUCCO BODY

ROOF

SECONDARY STUCCO

FASCIA / TRIM

LAP SIDING / GARAGE DOOR

FRONT DOOR / SHUTTERS

LIGHTING

**Meritage HOMES**  
JOB #2020  
DEC. 07, 2020

**VINCENT PLACE**  
WEST COVINA, CA

Kevin L. Crook  
**Architect Inc.**



**Exhibit 3.7b: Coastal Color & Material Schemes**

Not to Scale

**FARMHOUSE  
SCHEME #13**

VINCENT PLACE  
WEST COVINA, CA

Heritage  
HOMES  
JOB #20021  
DEC. 07, 2020

Kevin L. Crook  
Architect  
Inc.

**FARMHOUSE  
SCHEME #14**

VINCENT PLACE  
WEST COVINA, CA

Heritage  
HOMES  
JOB #20021  
DEC. 07, 2020

Kevin L. Crook  
Architect  
Inc.

**FARMHOUSE  
SCHEME #15**

VINCENT PLACE  
WEST COVINA, CA

Heritage  
HOMES  
JOB #20021  
DEC. 07, 2020

Kevin L. Crook  
Architect  
Inc.



**Exhibit 3.7c: Farmhouse Color & Material Schemes**

Not to Scale

### 3.4 Attached Residential

The following provides design guidance that is specific to the Attached Residential uses. The intent is to provide specialized requirements that specifically address the adjacencies to Vincent Avenue.

Vincent Avenue is a busy street with residential and commercial uses along its opposite edge. This corridor provides a connection between existing single-family neighborhoods located north and west of the specific plan area to multi-family uses, retail, downtown, and Interstate-10 located east and south of the specific plan area. As such, this segment of Vincent Avenue is a transitional zone from suburban to urban and the architectural design should reflect this transition.

Attached residential homes shall be designed to engage Vincent Avenue and create a more urban streetscape. This shall be achieved as follows:

- Orient buildings to create a semi-continuous street wall that defines the edges of the corridor as illustrated in **Exhibit 3.9: Attached Townhome Conceptual Plotting Plan.**
- Design homes to provide a front door presence along Vincent Avenue with enhanced entries that engage the sidewalk and provide pedestrian scale as illustrated **Exhibit 3.8: Vincent Avenue Streetscene.**

The Contemporary Eclectic architectural style used for attached residential buildings combines traditional design features with contemporary design features as illustrated in Exhibits 3.10 through 3.12. Other transitional styles are also permitted, subject to review and approval of the planning commission.

Within the community, buildings should be oriented toward internal streets and common open space areas. Front patios may be included, where appropriate, to provide additional private open space areas and create a transition between private and common areas. Buildings may be plotted in both standard and mirrored, i.e. reversed, orientations to provide diversity.



**Exhibit 3.8: Vincent Avenue Streetscene**

Not to Scale



**Legend**

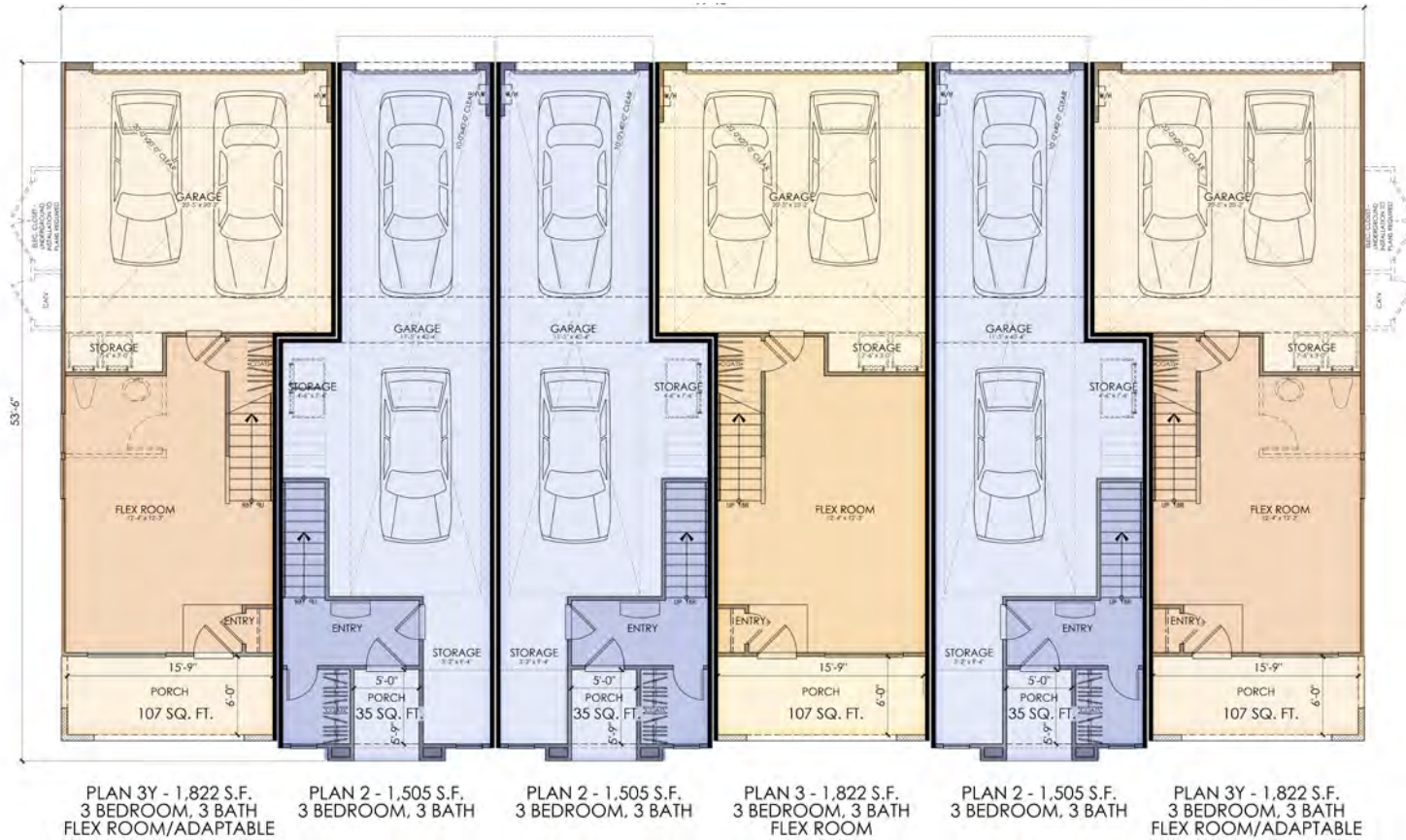
Townhomes = 72 Homes

For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.

**Exhibit 3.9: Attached Townhome Conceptual Plotting Plan**

Not to Scale





**Exhibit 3.10a: Building 601 (6-Plex) First Floor Plan**

Not to Scale



PLAN 3Y - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM/ADAPTABLE

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3Y - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM/ADAPTABLE



**Exhibit 3.10b: Building 601 (6-Plex) Second Floor Plan**

Not to Scale



**Exhibit 3.10c: Building 601 (6-Plex) Third Floor Plan**

Not to Scale





© 2019 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



© 2019 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

RIGHT



800 HD  
 0.07  
 9'-11"  
 0.07  
 0.07  
 9'-11"  
 0.07  
 9'-11"  
 0.07

REAR

COLOR SCHEME 2



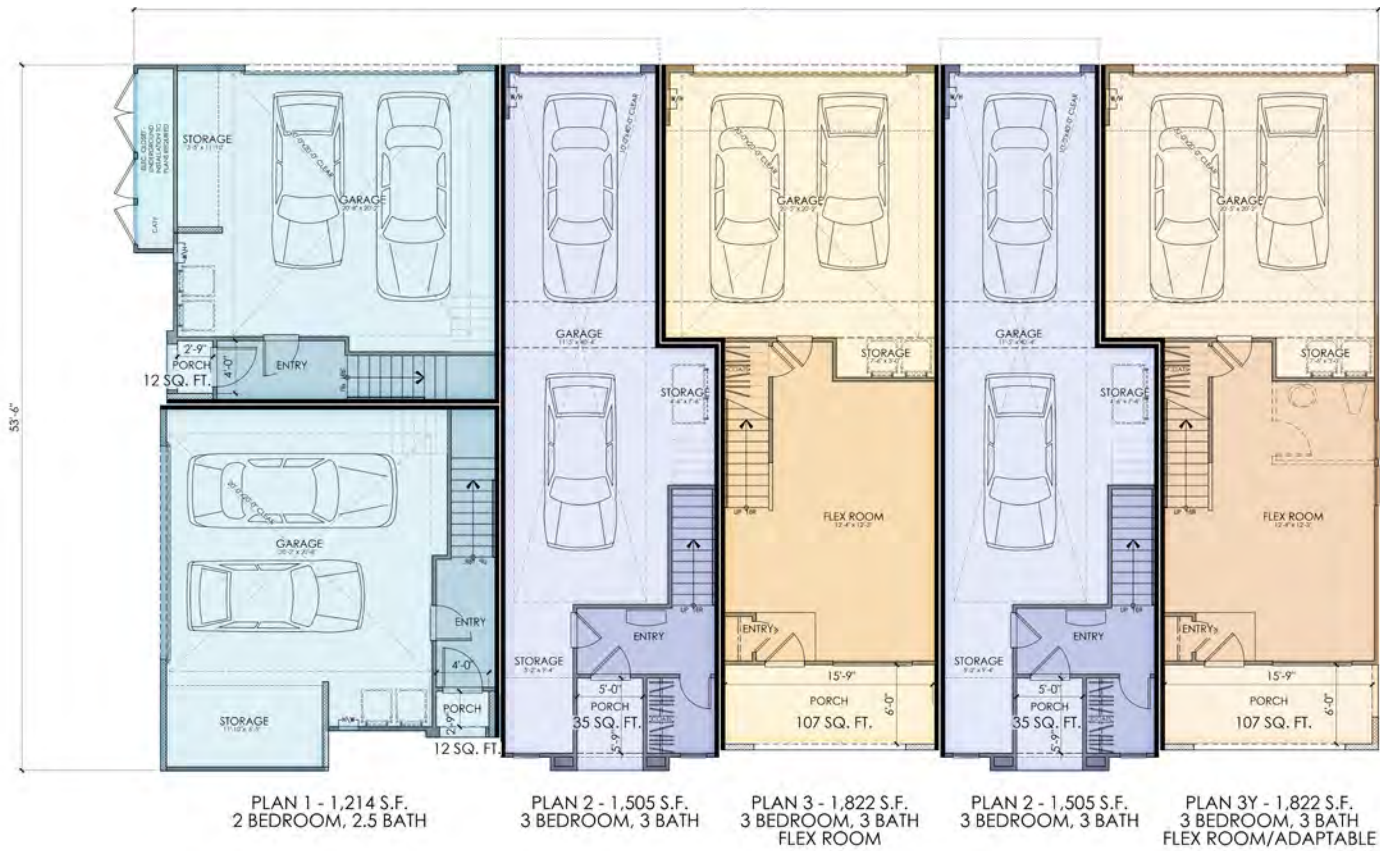
LEFT

COLOR SCHEME 2



**Exhibit 3.10d: Building 601 (6-Plex) Elevations**

Not to Scale



**Exhibit 3.11a: Building 602 (6-Plex) First Floor Plan**

Not to Scale



PLAN 1 - 1,214 S.F.  
2 BEDROOM, 2.5 BATH

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3Y - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM/ADAPTABLE



**Exhibit 3.11b: Building 602 (6-Plex) Second Floor Plan**

Not to Scale