

**Exhibit 3.11c: Building 602 (6-Plex) Third Floor Plan**

Not to Scale



© 2019 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



© 2019 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

RIGHT



REAR



LEFT  
COLOR SCHEME 3



**Exhibit 3.11d: Building 602 (6-Plex) Elevations**

Not to Scale

PLAN 1X - 1,214 S.F.  
2 BEDROOM, 2.5 BATH



PLAN 1 - 1,214 S.F.  
2 BEDROOM, 2.5 BATH

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3Y - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM/ADAPTABLE



**Exhibit 3.12a: Building 1001 (10-Plex) First Floor Plan**

Not to Scale

PLAN 1X - 1,214 S.F.  
2 BEDROOM, 2.5 BATH



PLAN 1 - 1,214 S.F.  
2 BEDROOM, 2.5 BATH

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3Y - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM/ADAPTABLE



**Exhibit 3.12b: Building 1001 (10-Plex) Second Floor Plan**

Not to Scale

PLAN 1X - 1,214 S.F.  
2 BEDROOM, 2.5 BATH



PLAN 1 - 1,214 S.F.  
2 BEDROOM, 2.5 BATH

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3 - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM

PLAN 2 - 1,505 S.F.  
3 BEDROOM, 3 BATH

PLAN 3Y - 1,822 S.F.  
3 BEDROOM, 3 BATH  
FLEX ROOM/ADAPTABLE



**Exhibit 3.12c: Building 1001 (10-Plex) Third Floor Plan**

Not to Scale



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Refer to landscape drawings for walk, tree, and shrub locations

FRONT



REAR



**Exhibit 3.12d: Building 1001 (10-Plex) Front & Rear Elevations**

Not to Scale



RIGHT



LEFT  
COLOR SCHEME 2



### Exhibit 3.12e: Building 1001 (10-Plex) Side Elevations

Not to Scale

The material and color schemes for attached townhomes will be used to reinforce the architectural style, accentuate massing, and provide diversity between buildings. **Table 3.2: Attached Residential Color Schemes** summarizes conceptual color schemes for attached homes, which are illustrated in **Exhibit 3.13: Attached Residential Color Schemes**. Alternative color schemes are permitted subject to administrative approval.

All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials and colors shall wrap architectural elements and terminate at inside corners.

**Table 3.2: Attached Residential Color Scheme**

	SCHEME 2	SCHEME 3
STUCCO 1	1572	1572
STUCCO PAINT MATCH**	SW7757 HIGH REFLECTIVE WT	SW7757 HIGH REFLECTIVE WT
STUCCO 2	SW7072 ONLINE	SW7740 MESSENGER BAG
LAP SIDING	SW7075 WEB GRAY	SW2816 RKWD DARK GREEN
FASCIA / TRIM / GARAGE DOORS	SW7757 HIGH REFLECTIVE WHITE	SW7757 HIGH REFLECTIVE WHITE
FRONT DOORS	SW2854 CARIBBEAN CORAL	SW2858 HARVEST GOLD
ROOF: REFLECTOR SERIES PLUS	STONE GRAY PLUS	SAGEWOOD PLUS
BRICK: TUNDRA	IRONSIDE	RIVERBED

STUCCO:	OMEGA
PAINT:	SHERWIN WILLIAMS
ROOF:	GAF TIMBERLINE

ALL FLASHING, GUTTERS, DOWNSPOUTS ETC. TO BE PAINTED TO **MATCH** ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS.

\*\* FOR PHOTOSHOP & RENDERING PURPOSES ONLY, DO NOT USE IN THE FIELD



**Exhibit 3.13: Attached Residential Color Schemes**

Not to Scale

# 4 - Landscape Design Guidelines

## 4.1 Purpose

The purpose of this section is to ensure that all landscaping within Vincent Place fulfills the specific plan objective of enhancing community design through landscape and recreational amenities that promote a high-quality living environment. These design guidelines are intended to be flexible such that alternative designs are permitted as long as they meet the level of quality and character envisioned by this specific plan.

## 4.2 Landscape Character

**Exhibit 3.1: Conceptual Landscape Plan** illustrates the overall landscape design concept for the community, which is described in greater detail in this Chapter. In accordance with state and local requirements, plants will consist of drought tolerant, non-invasive species. Please refer to **Exhibit 3.4: Plant Palettes** for a list of species that are permitted

within the specific plan area. Mulching, hydrozoning, and smart irrigation controllers will be used to maximize water efficiency, implementing Objective 6 of this specific plan.

## 4.3 Public Streetscapes

Streetscapes immediately adjacent to the specific plan area should be designed to support and enhance the architectural design character of each corridor as described herein.

### 4.3.1 West Workman Avenue

West Workman Avenue will be designed to reflect the residential character of this street and the surrounding neighborhoods. Five-foot sidewalks will be separated from the street by a five-foot landscaped parkway. Street trees within the parkway will consist of *Rhus lancea* or similar small evergreen trees, planted at approximately 30 feet on center.

Behind the sidewalk, private front yards will be layered with groundcovers, low shrubs, flowering and accent plants and grasses, with a mix of larger trees (*Sycamore racemose* or similar) and smaller trees (*Arbutus unedo* or similar) to create compositions that complement the traditional character of the adjacent architecture. Individual pathway will connect front porches and entries to the sidewalk to create a welcoming and charming entry. Walls that define private yards will consist of concrete, masonry, or decorative block that will maintain a consistent design along the street.

Except where emergency access is required, motor courts will be screened by walls, fences, shrubs, or similar materials to minimize the visual impact of garages on the public streetscape while providing separation from private yards. Where Motor courts provide emergency access, a pathway shall be provided for pedestrian and fire personnel access.



For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.



Note: Images are conceptual and subject to change.



### Exhibit 4.1a: Conceptual Landscape Plan

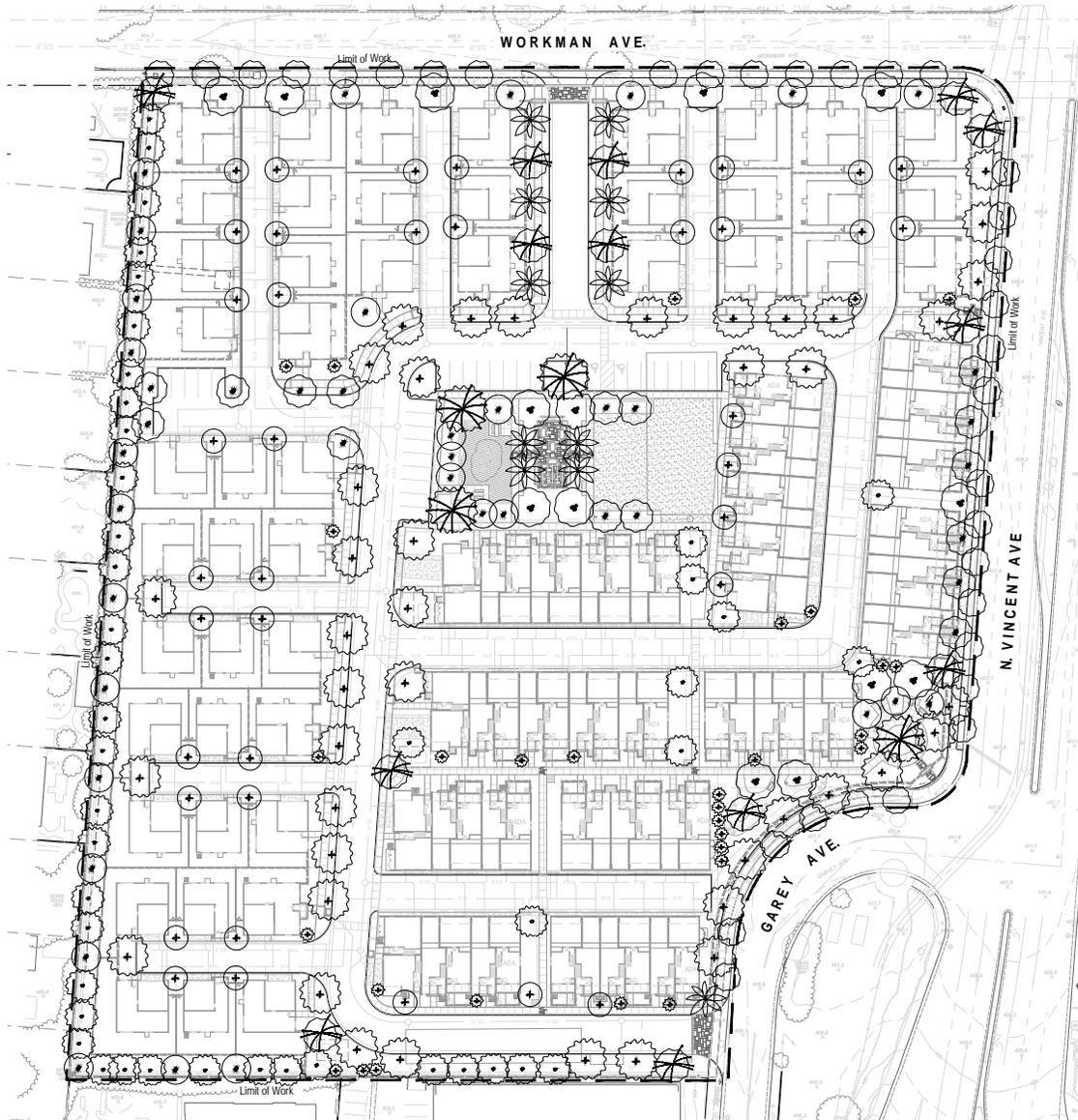
Not to Scale

1. Central community open space area with central shade structure, accented barbecue wall-counter, rectangular fire-pit, community lounge and table seating for small social events and group gatherings.
2. Tot-lot with rubberized play surface (in colored band pattern).
3. Large open lawn area for both passive and active play.
4. Corner Plaza space / pedestrian walkway node.
5. Decomposed granite walkway and native herb garden.
6. Seven community cluster mailboxes, per USPS review and approval.
7. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan. (See Exhibit 4.6)
8. Enhanced paving at main community entry.
9. Proposed tree, per Planting Plan. (See Exhibit 4.2)
10. 5' wide pedestrian esplanade, integral colored concrete, with light top-cast finish and saw-cut joints.
11. 4' wide community natural colored concrete sidewalk, with light top-cast finish and saw-cut joints.
12. 6' Long park seating, style to complement architecture.
13. Accessible parking stall and striping, per Civil plans.
14. Guest parking stall.
15. Natural colored concrete driveway, with light broom finish and tooled joints.
16. Private patio / yard area, homeowner maintained.
17. Common area landscape, builder installed and HOA maintained.
18. Community dog bag station (black in color), for pet owners.
19. Property line, per civil plans.
20. Previous pavers for emergency vehicle access.
21. Proposed public street sidewalk right-of-way, per Civil plans.
22. Transformer to be screened with landscape, quantity and final locations to be determined.
23. Short term bike parking (4 bike racks to accommodate 8 bike stalls).
24. Proposed AC condenser locations, per Architecture plans.
25. Large decorative planters.
26. HOA maintained area, sloped, with tree buffer.



### **Exhibit 4.1b: Conceptual Landscape Plan Key**

Not to Scale



Notes:

1. Irrigation (including spray and/or drip) will be provided, in the Construction Document phase, and to be installed per local California water regulations (AB1881) .
2. Transformers, back-flow preventers & other above-ground utilities to be screened with landscape as permitted by the utility provider and per local codes & regulations.
3. Landscape lighting (landscape up-lights, path lights/bollards, etc.) to be coordinated with Electrical Engineer in future phase.
4. The plant palette listed provides a list of plant material to select from when preparing final landscape construction documents for this community. However, substitutions may be required due to availability, soils tests, or other conditions.
5. All trees within 5' of hardscape to be installed with deep root barriers.

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**Exhibit 4.2a: Conceptual Planting Plan**

Not to Scale

## PLANTING LEGEND

Symbol	Type/Form	Suggestions	Trunk	Size	Wucols (R3)	Qty.
Botanical Name (Common Name)						
<b>PALMS</b>						
	Vertical	Phoenix dactylifera (Date Palm) Syagrus romanzoffiana (Queen Palm)	Single	10' BT	Low Low	11
<b>TREES</b>						
	Specimen	Olive sp. (Field Grown Olive)	Natural	B&B-10'x10'	Low	4
	Focal	Magnolia g. 'Little Gem' (L. Gem Magnolia)	Single	36" Box	Low	13
	Canopy Deciduous	Platanus racemosa (California Sycamore)	Single	24" Box	Medium	14
	Street	Tristania conferta (Brisbane Box)	Single	24" Box	Medium	42
	Evergreen Flowering	Arbutus unedo (Strawberry Tree)	Multi	24" Box	Low	16
	Deciduous Flowering	Lagerstroemia l.xf. 'Arapaho' (Crape Myrtle)	Single	15 Gal	Medium	39
	Vertical Buffer	Melaleuca quinquenervia (Paperbark Melaleuca)	Multi	15 Gal	Low	44
	Medium Evergreen	Geijera parviflora (Australian Willow) Rhus lancea (African Sumac)	Single	24" Box	Low	29
	Columnar	Cupressus sempervirens (Italian Cypress)	Single	15 Gal	Low	31
	City Parkway	Geijera p. 'Australian Willow' (Workman Ave.) Lagerstroemia l.xf. 'Natchez White' (Vincent Ave.) *Final selections per City of West Covina Stds.	Single	24" Box	Low	34
						TOTAL = 277

### VINES & ESPALIERS

		WUCOLS (R3)
Antigonon leptopus	Coral Vine	Low
Bougainvillea 'Monka' (Oo-La-La® Bougainvillea)	Bougainvillea	Low
Macfadyena unguis-cati	Cat's Claw Vine	Low
Trachelospermum jasminoides	Star Jasmine	Med

### SHRUBS and GROUND COVER

		WUCOLS (R3)
Anigozanthos	Kangaroo Paw	Low
Agave sp.	Agave	Low
Aloe sp.	Aloe	Low
Bougainvillea sp.	Bougainvillea	Low
Callistemon citrinus 'Little John'	Dwarf Bottlebrush	Low
Carex divulsa	Berkeley Sedges	Low
Carissa m. 'Green Carpet'	Dwarf Natal Plum	Low
Chamaerops humilis	Mediterranean Fan Palm	Low
Cordylone 'Pink Passion'	Pink Passion Dracaena Palm	Low
Dasyllirion longissimum	Mexican Grass Tree	Low
Delosperma cooperi	Trailing Ice Plant	Low
Dianella revoluta 'Little Rev'	Little Rev™ Flax Lily	Low
Iris sp.	Iris	Low
Kalanchoe thyrsiflora	Flapjack Paddle Plant	Low
Lavandula stoechas 'Larkman Hazel'	Hazel™ Spanish Lavender	Low
Ligustrum japonicum "Texanum"	Japanese Privet	Low
Nassella pulchra	Purple Needlegrass	Low
Muhlenbergia rigens	Deer Grass	Low
Rhaphiolepis indica 'Clara'	India Hawthorn	Low
Rosmarinus p. 'Huntington Carpet'	Groundcover Rosemary	Low
Salvia sp.	Sage	Low
Westringia sp.	Westringia	Low
Xylosma congestum 'Compact'	Compact Xylosma	Low
Yucca gloriosa	Spanish Dagger	Low



## Exhibit 4.2b: Conceptual Planting Plan Legend

Not to Scale

Front yard landscaping and walls along Vincent Avenue and West Workman Avenue will be maintained by the HOA to ensure they remain attractive, consistent, and in good condition.

### 4.3.2 Corner Landscape

The corner of West Workman Avenue and Vincent Avenue is a highly visible corner and provides an opportunity to provide enhanced landscaping or community signage. If signage is not provided as part of the wall design, landscaping should be used to soften the walls appearance and define the corner.

### 4.3.3 Vincent Avenue

Vincent Avenue will be designed to reflect the high volume of traffic and the transitional character of this corridor. The existing parkway will be planted with smaller trees (Lagerstroemia or Geijera) spaced approximately 30 feet on center.

At the north end of Vincent Avenue, a community wall will define the private backyards of adjacent attached homes. The wall will be screened with layered trees, shrubs, and ground cover.

South of this wall a small paseo will provide pedestrian access to the interior of the community. The paseo will be separated from the street by walls or fencing to delineate the private community spaces from the public sidewalk. An entry arbor will be provided to allow access into the community and enhance the pedestrian experience.

South of the paseo, three-story townhomes define the street edge. Small front patios will be provided, defined by a low wall. Patios will provide a transitional space between the public sidewalk and private front door spaces. Some units will include a private covered front outdoor space. Spaces between patios and between walls and the sidewalk may be planted with layering of small trees, shrubs, hedges, flowering plants, and ground cover.

At the corner of Vincent Avenue and West Garvey, a large plaza area defines the corner. This corner will be the first visual impression for people as they arrive from downtown or I-10 and is described in greater detail in Section 4.6.2. Community block walls will define this space to provide some protection from the busy traffic noise along Vincent Avenue and define this as a semi-private space.

## 4.3.4 West Garvey Avenue North

The West Garvey Avenue North streetscape will consist of a community block wall softened by layering of trees, shrubs, plants, and ground cover.

## 4.4 Entries

The proposed community is required to provide two entries: A Primary Entry on West Workman Avenue and a Secondary Entry on West Garvey Avenue North, as described in the following sections.

### 4.4.1 Primary Entry

Primary access to the site is provided from West Workman Avenue. As illustrated in **Exhibit 4.3: Conceptual Primary Entry**, the primary entry will be defined by pedestrian entry portals, enhanced landscaping and paving, and potential community monumentation. The entry will have parkways and sidewalks on both sides. Parking will not be permitted. Behind the sidewalk, landscaping will soften the appearance of community walls on either side of the entry. Taller palms will be layered in with medium sized canopy trees along the main entry drive.



Community entry signage  
with brick veneer

Stucco pilaster and wood  
arbor entry gateway



For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.



### Exhibit 4.3: Conceptual Primary Entry

Not to Scale

#### 4.4.2 Secondary Entry

The West Garvey Avenue North entry functions as the secondary entry to the community. This entrance will be less formal and will include pilasters, enhanced paving, and a decorative pot that complements the main entry design.

#### 4.5 Private Streets

Within the community, landscaping of private streets, alleys, and motor courts will enhance the livability of the community by creating a pleasant walking and driving experience for residents and visitors.

##### 4.5.1 Lanes

Lanes provide the primary vehicular and pedestrian circulation through the specific plan area. Lanes include sidewalks that will be enhanced with trees to provide shade and pedestrian comfort along sidewalks and to shade parked cars. The planting pattern is modified based upon the design condition of the lane, which varies throughout the site. Where sidewalks are separated from the curb by parkway, trees are planted generally 30 feet on center. Where sidewalks are

immediately adjacent to the curb, trees are planted where appropriate behind the sidewalk. When adjacent to parking stalls, trees are planted to shade park cars and complement the design of adjacent common recreation areas. Pedestrian portals of arbors are provided in key locations to further enhance the design of the community.

##### 4.5.2 Alleys

Alleys provide access to townhome garages. For residents, alleys are the primary entry to their home and should therefore be designed to enhance their daily experience. Alleys should be enhanced with small shrubs and vines between garages to soften the feel of the alley.

##### 4.5.3 Motor Courts

Motor courts are shared driveway spaces that also function as a common front yard for detached cluster homes. These shared driveway spaces often become a gathering space for neighbors. The limited traffic and intimacy of the space allows it function as both a vehicular and pedestrian space similar to the living streets found in European communities.

These living space are often used for small gatherings or for young children to kick a ball or ride a bike. As such, motor courts should be planted with small trees and shrubs to improve these outdoor living spaces.

#### 4.6 Common Areas

Common areas provide an outdoor living space where people can relax, recreate, or gather as a community. Landscaping of these areas should reflect the anticipated activities for each space.

##### 4.6.1 Central Recreation

The central recreation area consists of open space and amenities at the center of the community. This space functions as the main community gathering and recreational space and also serves as a focal point for the community entry.

**Exhibit 4.4: Conceptual Central Park** illustrates one potential concept for this space. Alternative designs are permitted as long as the proposed amenities are equivalent or better than those illustrated in this specific plan.

Landscaping in the common recreation area should enhance the proposed amenities. Turf should be limited to areas intended for passive and active play. Shade should be provided for table and benches.

#### 4.6.2 Secondary Spaces

Secondary spaces, as illustrated in **Exhibit 4.5: Conceptual Secondary Spaces**, provide smaller and more intimate areas that can be enhanced to provide additional community amenities or smaller gathering space.

At the corner of Vincent Avenue and West Garvey, a large plaza area defines the corner. This corner will be the first visual impression for people as they arrive from downtown or I-10. As such, this space has been designed to create a welcoming aesthetic with a pedestrian entry portal, seating, and tables surrounding a large specimen tree. A raised planter with secondary community signage will also be provided.

Southwest of this plaza, another secondary space is proposed to include a small garden that can consist of either native plants or herbs. The garden may include aromatic planting, Adirondack

seating, and decomposed granites walking paths. This garden can provide opportunities for quiet relaxation and access to fresh herbs for resident use. A dog bag station may also be provided to accommodate pet owners.

#### 4.6.3 Paseos

Paseos are areas between buildings that provide front door access to units. These linear spaces are not intended for active recreation but can include benches, patios, and landscaping that create an attractive and high quality living space.

### 4.7 Walls & Fences

Walls and fences within the specific plan area will be used to define private and semi-private space in accordance with the wall and fence regulations provided in Chapter 2. Community walls will also serve as a unifying design element. **Exhibit 4.6: Conceptual Wall and Fence Plan** illustrates the anticipated location and design of walls and fences within the specific plan area.

## 4.8 Lighting & Outdoor Furniture

Lighting along public rights-of-way will consist of City of West Covina Street lighting. Within the community, lighting should be designed at a pedestrian scale. Lighting should be provided at the lowest level to accommodate pedestrian safety and should be designed to minimize disturbances to residential homes and shield lighting from adjacent properties.

Lighting, benches, tables, waste receptacles, mailboxes and similar street furniture should all be coordinated to provide a consistent and complementary palette of elements. These details work together to convey a high quality design character.

Graffiti-resistant coatings should be used on all street furniture to assist in deterring graffiti.



### Exhibit 4.4: Conceptual Central Park

Not to Scale



6' long bench



Corner Plaza:

- large specimen tree (Oak)
- bench and table seating
- perhaps, raised planer with secondary signage



Native or Herb Gardens:

- aromatic planting
- Adirondack seating
- DG paving
- dog bag station
- planting will show hedge/vertical buffering to provide evergreen barrier from street

Pot Pedestal Planting



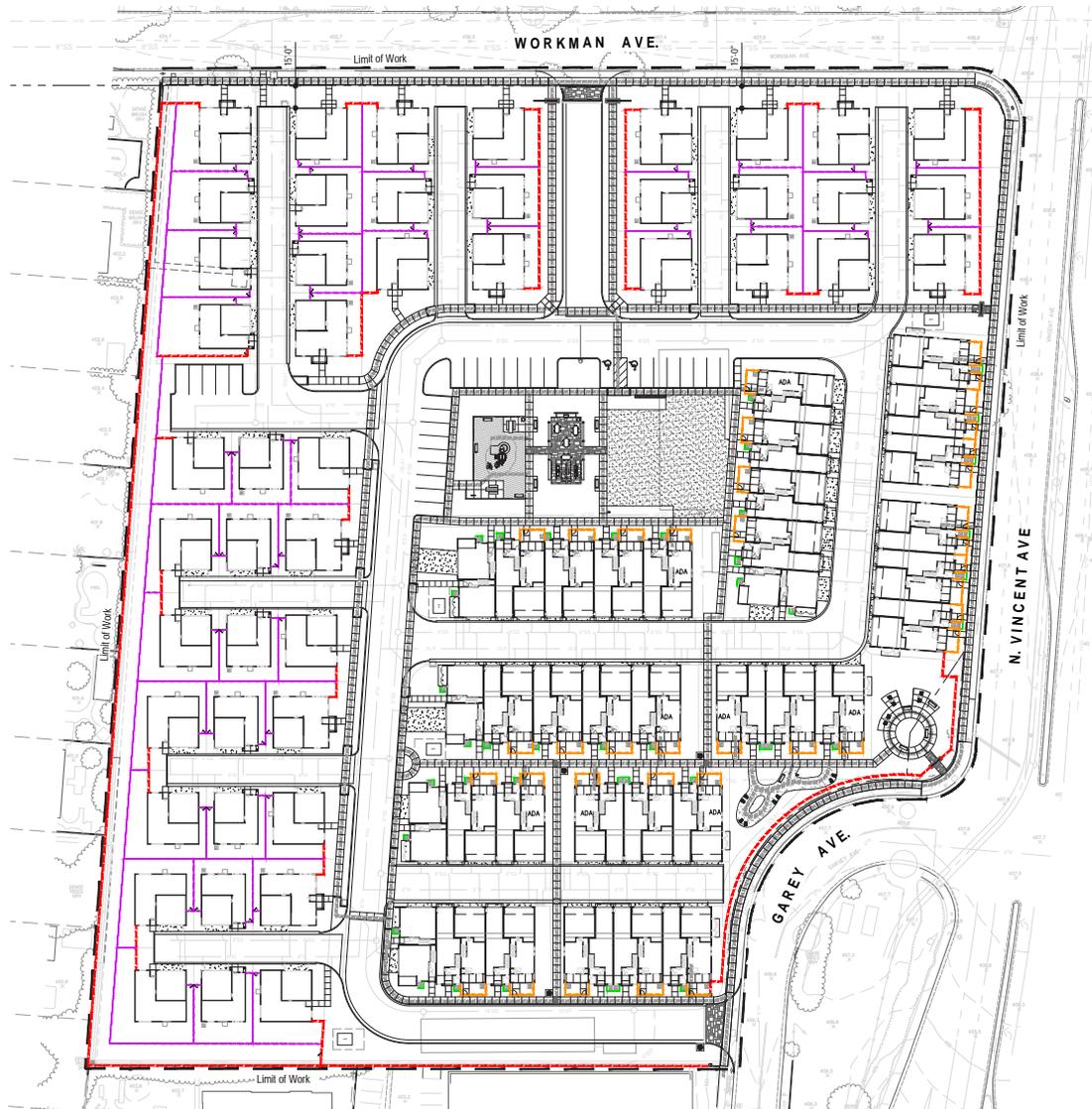
Note: Images are conceptual and subject to change.

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## Exhibit 4.5: Conceptual Secondary Spaces

Not to Scale



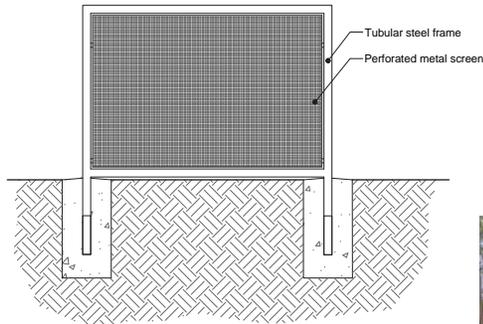
- - - 6'-0" High split-face CMU wall, with 4" high split-face CMU cap (tan color).
- 3'-6" High metal accent AC screen.
- 5'-6" High vinyl fence (tan color).
- 6'-0" High (16" sq.) split-face CMU pilaster, with 4" high split-face CMU cap (tan color).
- 3'-6" High stucco patio wall, with flat stucco cap (color to match adj. building)
- ^ 5'-6" High vinyl private yard gate (tan color).
- ⌋ 3'-6" High metal patio gate (black paint color).
- ±7'-6" High stucco over CMU or split-face CMU pedestrian arbor entry feature.
- ±4' High decorative pot on stucco pedestal, secondary vehicular entrance feature.
- Entry wing-wall signage.
- - - - - ADA Path of Travel.

For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.



### Exhibit 4.6a: Conceptual Wall & Fence Plan

Not to Scale



2 Elevation - AC Screen  
1/2" = 1'-0"



For conceptual purposes only. Site Plan may vary at Final provided it is in substantial conformance with the specific plan. Please refer to Chapter 6.



- NOTES:
1. Graffiti-resistant coatings shall be used on all walls, fences, sign structures, glass panels or similar structures to assist in deterring graffiti.

\*Images herein are conceptual in nature and subject to change.



## Exhibit 4.6b: Conceptual Wall & Fence Imagery

Not to Scale



# 5 - Utilities & Services

## 5.1 Introduction

This chapter provides an overview of the grading plan, utility plans, and services necessary to support development proposed by the Vincent Place Specific Plan. The intent is to provide the basic utilities and services needed to ensure the community functions properly. It also seeks to conserve resources and protect natural ecosystems by implementing best management practices, low impact development practices, water and energy conservation measures, and adequate public services such as schools, fire protection, and public safety.

## 5.2 Grading & Drainage

As illustrated in **Exhibit 5.1: Existing Drainage & Grading**, the existing site consist of two distinct areas that generally drain in two different directions. The north portion of the site, which includes

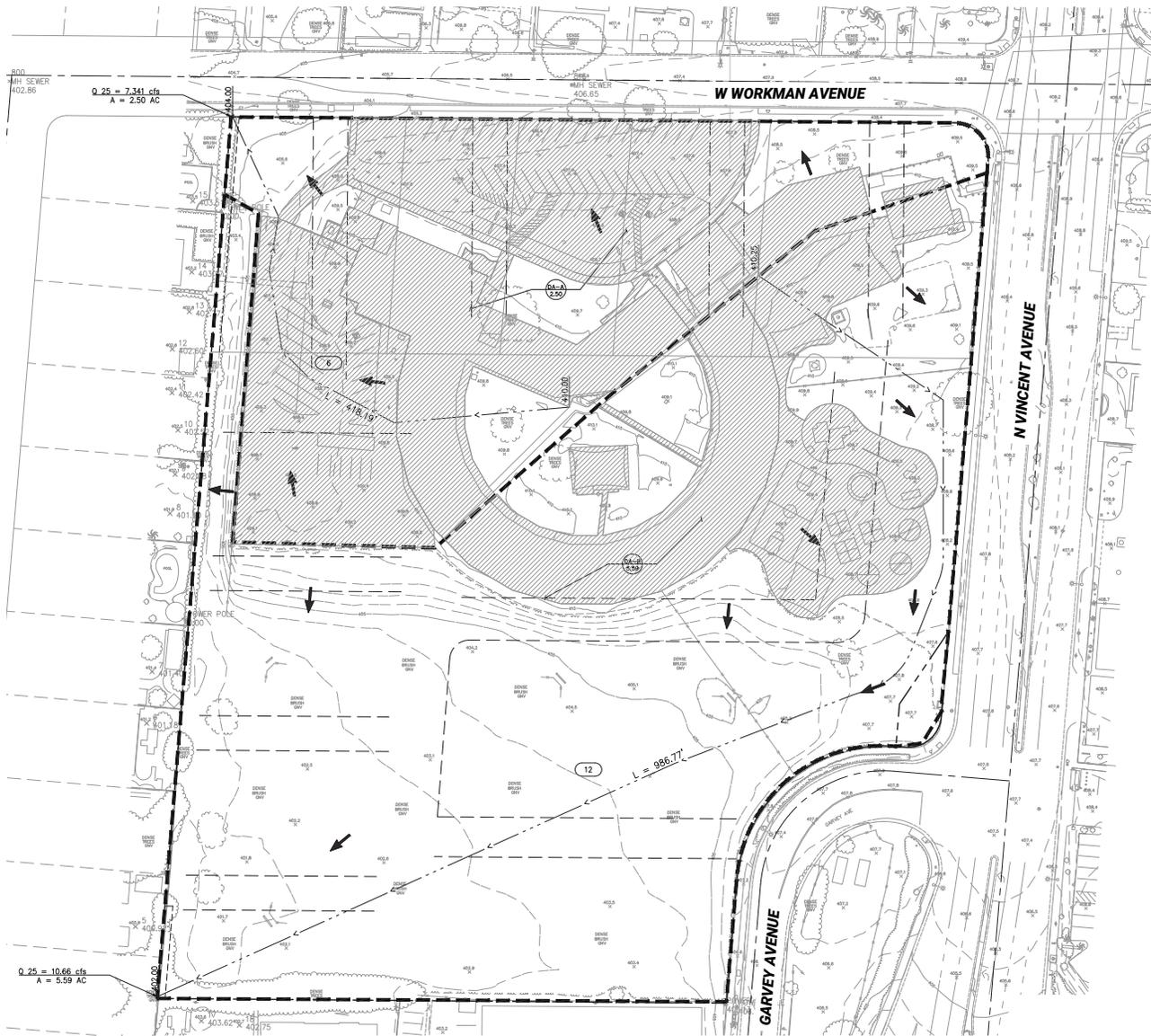
the existing buildings, playgrounds, and parking lot, is relatively flat and is elevated approximately five (5) to seven (7) feet higher than the adjacent neighborhoods to the west and four (4) to five (5) feet higher than the play fields in the south portion of the property. Drainage for the developed north portion of the site is directed toward the West Workman Avenue or Vincent Avenue. The south portion of the property consists of open play fields with drainage directed to a low point located at the southwest corner of the site.

Both the City of West Covina and the County of Los Angeles manage and maintain storm drain systems within the City to collect storm runoff and help prevent flooding of developed areas. The stormwater systems consist of channels, gutters, drains, catch basins, and pipes which convey the runoff to receiving water bodies. Receiving water bodies include Walnut Creek Wash and San Jose Creek, which flow to the San Gabriel River. The San Gabriel River flows to the San Pedro Bay on the Pacific Ocean coast.

### 5.2.1 Grading

**Exhibit 5.2: Conceptual Drainage & Grading Plan** illustrates the proposed grading and drainage concept for the specific plan area.

To prevent flooding in the southeast corner, the conceptual grading plan proposes to fill (lift up) the southwest corner of the site by approximately 5 feet and cut (lower) the higher portion of the site to create a more gradual and consistent slope that directs surface drainage toward Workman and Vincent Avenues. This strategy will result in 3:1 slopes along the east and south property lines with slopes ranging from three (3) feet to 5.5 feet in height. A valley gutter will be provided along the westerly property line to collect runoff from the slope and any incidental runoff from the adjacent property owners. The runoff will be collected in inlets and directed into an existing County of Los Angeles Storm drain line in Vincent Avenue.



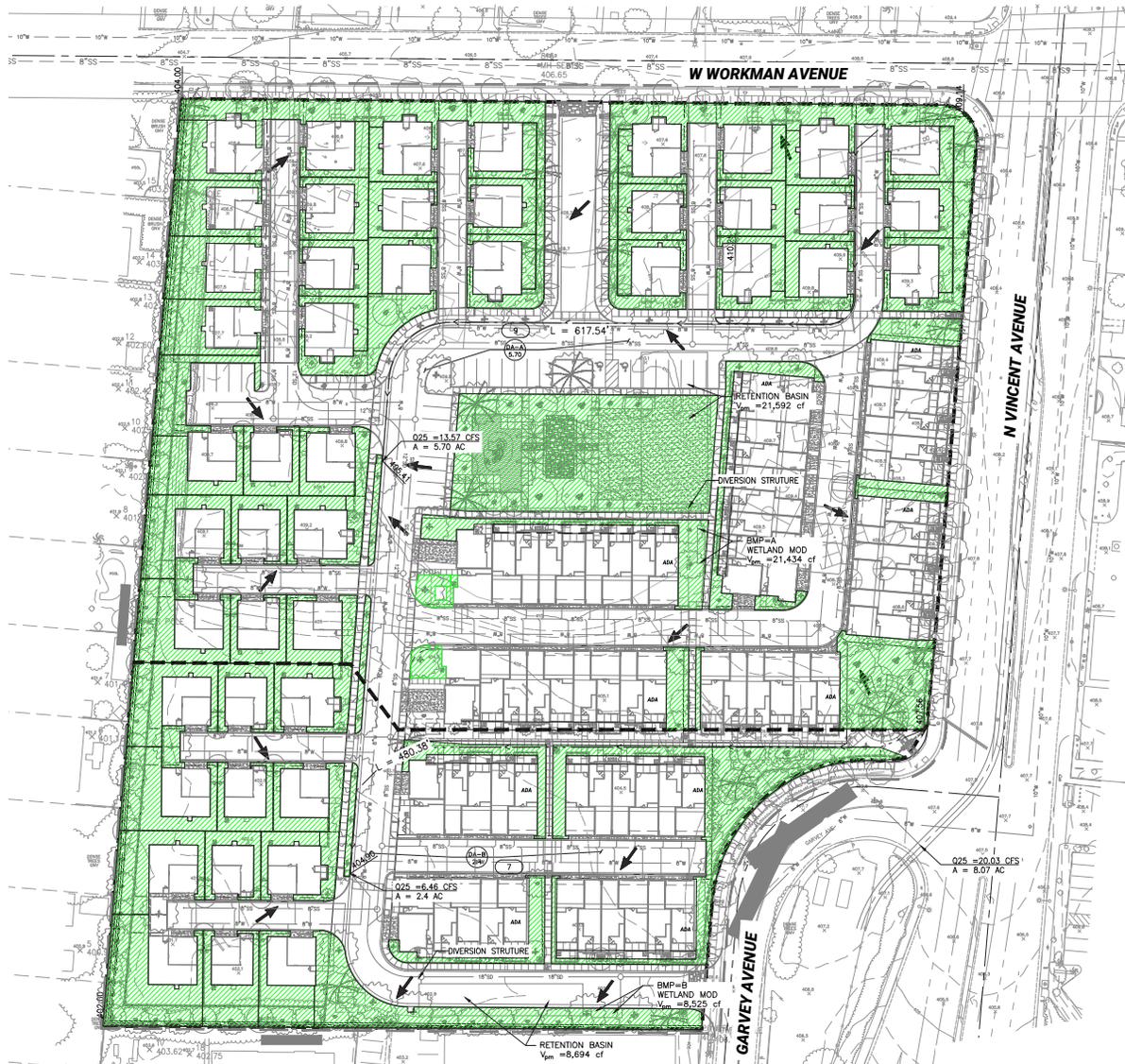
**LEGEND**

- Q25 = RUNOFF IN CFS FOR 25 YR, FREQUENCY
- $\frac{1A}{0.82}$  SUBAREA NUMBER  
SUB AREA IN ACRES
- 5 TIME OF CONCENTRATION (FOR Q25)
- SUBAREA BOUNDARY
- - - - -> FLOW LINE PATH



**Exhibit 5.1: Existing Drainage & Grading**

Not to Scale



**LEGEND**

- Q25 = RUNOFF IN CFS FOR 25 YR, FREQUENCY
- |      |
|------|
| 1A   |
| 0.82 |

 SUBAREA NUMBER  
SUB AREA IN ACRES
- |   |
|---|
| 5 |
|---|

 TIME OF CONCENTRATION (FOR Q25)
- |   |
|---|
| — |
|---|

 SUBAREA BOUNDARY
- |           |
|-----------|
| - - - - - |
|-----------|

 FLOW LINE PATH
- |  |
|--|
|  |
|--|

 PERMEABLE/LANDSCAPING



**Exhibit 5.2: Conceptual Drainage & Grading Plan**

Not to Scale

Grading adheres to the City of West Covina's grading standards unless otherwise shown and as recommended by the geotechnical engineer. Grading for the site will nearly balance the amount of cut and fill to minimize exporting or importing of dirt.

### 5.2.2 Stormwater Drainage & Treatment

Stormwater runoff collected from the specific plan area may contain high sediment loads and many types of pollutants, including oil and grease, chemicals, pesticides, heavy metals, bacteria, viruses, and oxygen-demanding compounds. The City's strategy and policy direction is to reduce discharges of these pollutants into the stormwater conveyance system through implementation of low impact development (LID) structural and non-structural best management practices (BMPs), source control BMPs; and structural and non-structural BMPs for all new development. LID requires that all stormwater be collected and treated on-site prior to entering the storm drain system.

The grading plan is designed to drain all stormwater from within the specific plan area into a private storm drain system as illustrated in **Exhibit 5.3: Conceptual Storm Drain Plan**. Catch basins and inlets will collect stormwater and convey water via 12-inch and 24-inch pipes to two detention basins and two biofiltration systems. The north half of the site will be diverted to a system in the common recreation area and the south part of the site will be diverted to a system located at the southerly private street.

Biofiltration was selected as the primary method for treating stormwater due to the site's poor percolation. Biofiltration involves filtering water through barriers, soil, and other natural or mechanical filters to remove coarse and fine sediment, trash and debris, oil, and heavy metals bound to particulate matter. After being detained underground, water from the detention chamber will flow into an adjacent modular wetland where it will be treated through biofiltration and then released into private pipes that connect to an existing public storm drain pipe in Vincent Avenue. The existing pipe in Vincent Avenue is adequately sized to accept these flows and no additional off-site improvements to the storm drain system are required.

## 5.3 Domestic Water

The specific plan area is situated within the service boundaries of Azusa Light & Water (ALW). ALW is the incumbent water purveyor for this area. The water produced by Azusa Light & Water currently meets all State and Federal Standards relating to domestic water quality. The proposed water system shall comply with all current and future rules and regulations of ALW applicable water conservation requirements contained in the City of Azusa Municipal Code.

The water system proposed for the specific plan area consists of a series of public 8-inch pipes, as illustrated in **Exhibit 5.4: Conceptual Domestic Water Plan**, to create a looped system that serves all homes within the site. The proposed water system connects to an existing 8-inch pipe in West Workman Avenue and West Garvey Avenue North. The existing water main in West Garvey Avenue North from Vincent Avenue to Morada Avenue will be replaced with an 8-inch ductile iron class 350 public water main. The project will connect all existing services and laterals to the new public water main. All new services shall be connected to the new public water main.



**Legend**

- Proposed Private Catch Basin
- Proposed Private 6-inch pipe
- Proposed Private 12-inch Pipe
- Proposed Private 24-inch Pipe
- Proposed Private Underground Retention Chamber
- Proposed Private Modular Wetlands
- Existing Public 24-inch Pipe

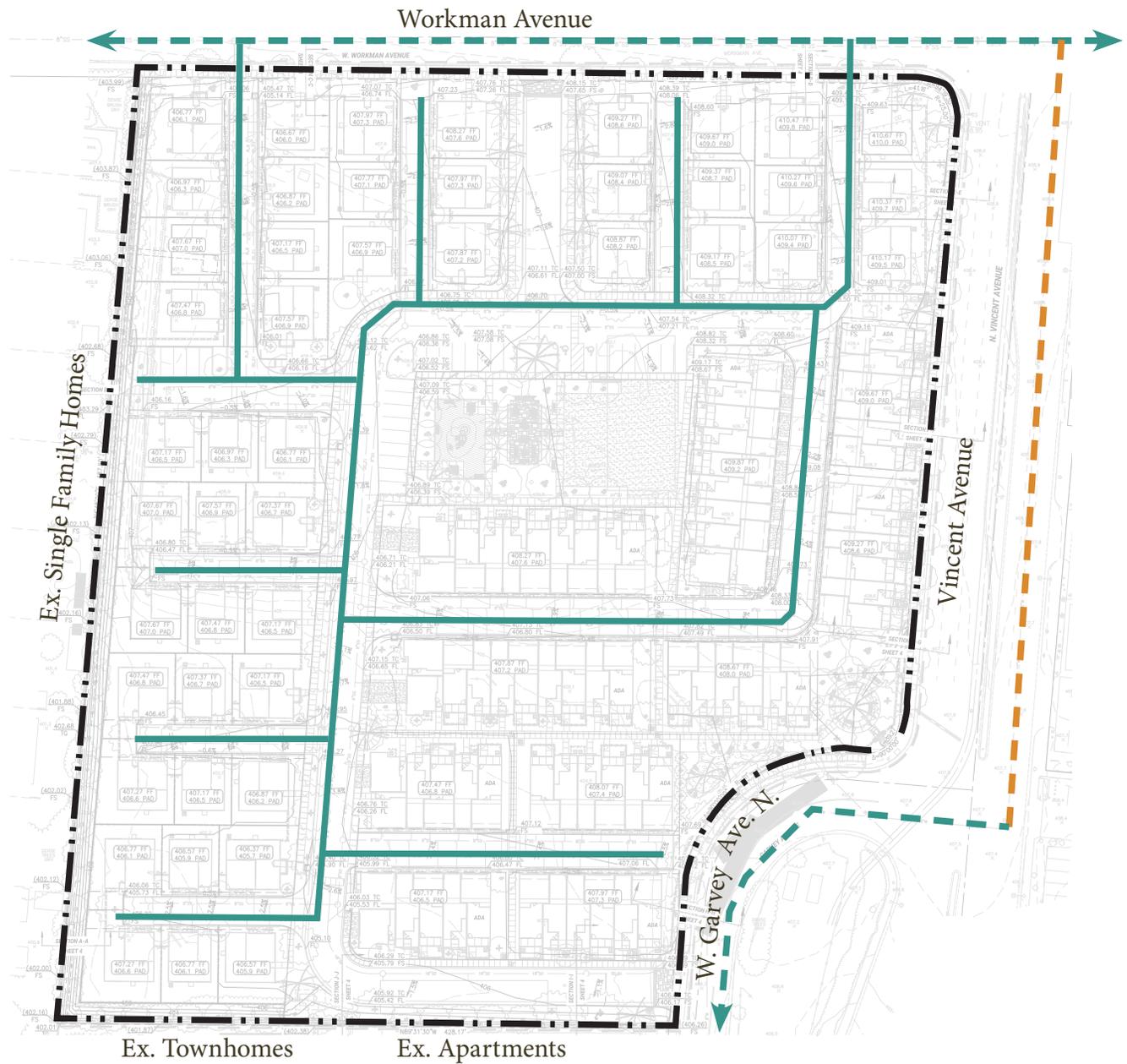
Note: Design, sizes and alignments may change at final design

**Exhibit 5.3: Conceptual Storm Drain Plan**

Not to Scale

# Legend

- Proposed Public 8-inch Pipe
- - Existing Public 8-inch Pipe to be replaced
- - Existing Public 10-inch Pipe



## Exhibit 5.4: Conceptual Domestic Water Plan

Not to Scale

Water conservation measures required within the specific plan area include the following:

- Low flow toilets and fixtures per CalGreen Standards
- Drought tolerant landscaping
- Smart irrigation controllers
- Mulching
- Hydrozoning
- All other water conservation requirements per CalGreen, the City's Landscape Efficiency Ordinance, and other applicable State, regional, and local regulations.

## 5.4 Sewer

Domestic sewage includes wastewater from household and commercial plumbing, such as toilets, showers, and sinks. The City of West Covina operates and maintains the City's sanitary sewer system, which collects and conveys sewage to the San Jose Creek East Water Reclamation Plant (WRP) adjacent to the City of Whittier. There, contaminants are removed from the sewage through a multi-stage process, which includes settling, filtering, and biological and chemical treatment. The treated water is then discharged into local waterways or used as reclaimed water.

The proposed public sewer system for the specific plan area is illustrated in **Exhibit 5.5: Conceptual Sewer Plan**. The proposed gravity sewer system consist of a series of 6-inch and 8-inch vitrified clay pipes (V.C.P.) that convey flows to an existing 8-inch pipe in West Workman Avenue. Pursuant to a sewer capacity study prepared for this project, no additional off-site mitigation is required.

## 5.5 Solid Waste

The City contracts with a private hauler, Athens Services, for residential and commercial solid waste and recycling pickup and disposal. Each home will be provided with two individual carts: a black cart for commingled trash and recycling and a green cart for yard waste. Carts will be stored in garages or in private fenced yards on non-collection days. On collection day, residents will be required to place their carts along the designed collection route for collection by Athens Services. Waste collected from the specific plan area is taken to a Materials Recovery Facility.

Non-hazardous construction and demolition waste shall be recycled or salvaged pursuant to CalGreen. Prior

to issuance of building permits, a Waste Management Plan (WMP) for Construction and Demolition shall be provided. Additionally, documentation and approval from the WMP Compliance Official shall be required prior to final inspection and approvals to demonstrate that the Waste Diversion Requirement have been met.

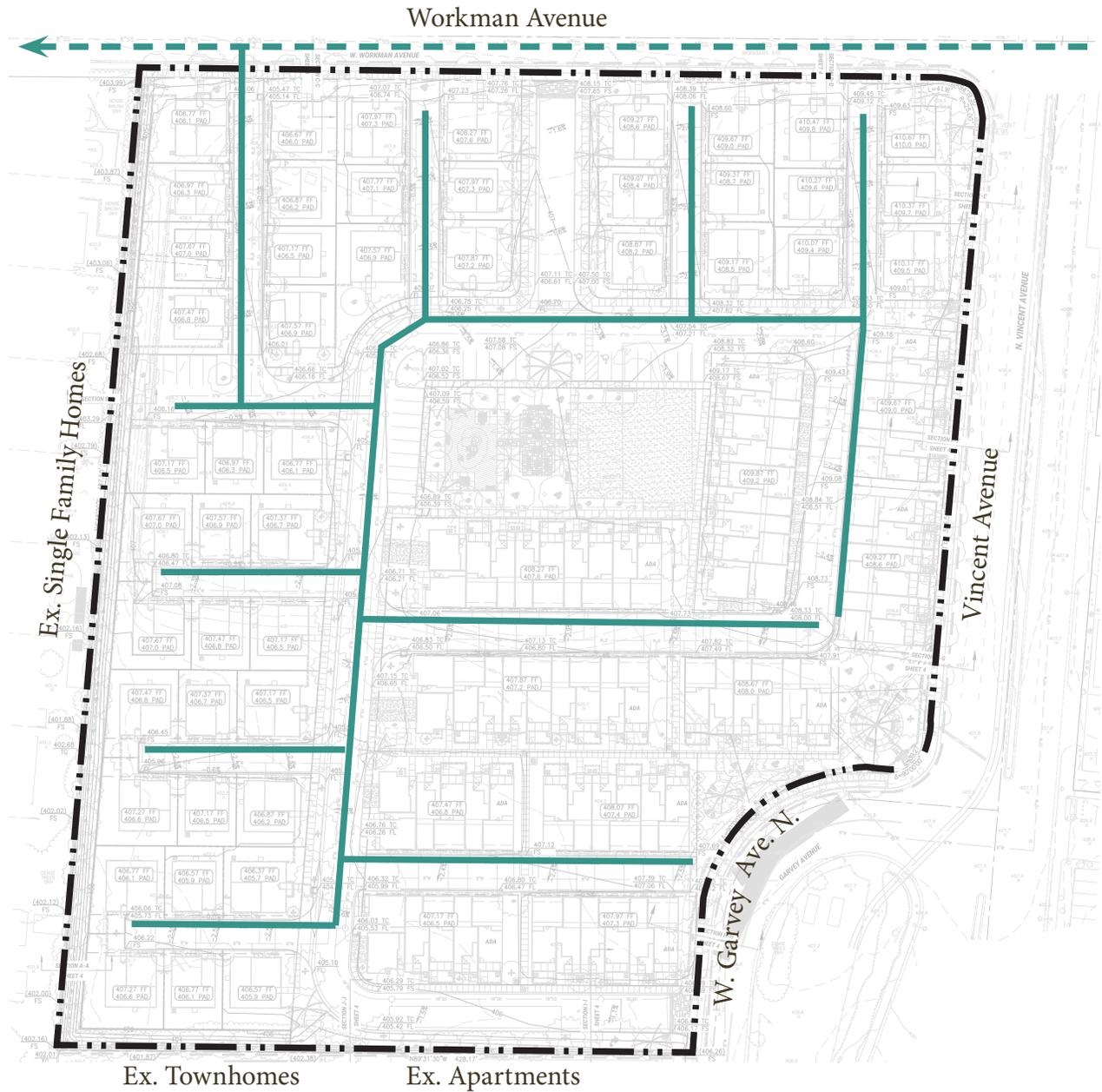
## 5.6 Electricity & Natural Gas

Electrical power is provided by Southern California Edison. Natural gas is provided by The Gas Company. No major improvements to the local distribution networks will be needed to support the growth facilitated by this specific plan. All existing and new lines are required to be installed underground.

New development within the specific plan area will be required to meet the requirements of the California Energy Code (Title 24) and CalGreen. Title 24 and CalGreen include the most stringent requirements for energy conservation in the Country. To meet these requirements, all new development within the specific plan area will include rooftop photovoltaic

# Legend

- Proposed Public 8-inch Pipe
- - - Existing Public 8-inch Pipe



## Exhibit 5.5: Conceptual Sewer Plan

Not to Scale

(PV) solar panels, energy efficient lighting and appliances, cool roofs, energy efficient windows, and other design features that significantly conserve energy.

## 5.7 Broadband & Telecommunications

Broadband and telecommunications services are provided by Spectrum, Frontier, Direct TV and AllConnect (Direct TV). All new dry utilities are required to be placed underground to the extent feasible.

## 5.8 Schools

The specific plan area falls within the boundaries of the Covina Valley Unified School District. The assigned elementary school (Grades K-5) for the specific plan area is Rowland Avenue Elementary School. The assigned Middle School (Grades 6-8) for the specific plan area is Traweek Middle School. The assigned High School (Grades 9-12) for the specific plan area is Covina High School.

## 5.9 Public Safety & Emergency Services

Public Safety services are provided by the City of West Covina Police Department. The community has been designed with Crime Prevention Through Environmental Design (CPTED) principles in mind. Buildings are oriented with front doors and windows facing public sidewalks and common areas to allow for natural surveillance. The landscape plan utilizes the use of walkways, fences, lighting, signage and landscape to clearly guide people and vehicles to and from the proper entrances. These way-finding features include entry monumentation at both vehicular entrances and pedestrian portals in key locations. Walls, fences, bollards, and shrubs are also used to reinforce public areas from private spaces. Finally, the requirement for an HOA will ensure that properties are properly maintained to prevent the specific plan area from becoming an attractive nuisance.

The West Covina Fire Department provides fire emergency services throughout the City. The specific plan area is located within the Fire Station 3 District. Fire Station No. 3 is located at 1433 West Puente Avenue, approximately 1.2 miles from the site east. Response time to the specific plan area is less than three (3) minutes.

The proposed community is designed to accommodate emergency access to the site as illustrated in **Exhibit 5.6: Conceptual Fire Access Plan**. Fire access routes have been designed to meet the minimum width and turning dimensions as required by the fire department. Furthermore, all buildings will be constructed to meet the current building code requirements for fire safety.



# 6 - Administration & Implementation

## 6.1 Administration

The Vincent Place Specific Plan shall be adopted by ordinance. At the time of the adoption of the Vincent Place Specific Plan, concurrent applications shall be approved for overall site development through General Plan Amendment, Zone Change, Precise Plan, and Tentative Tract Map.

The Administration section is intended to provide the regulatory framework for any subsequent entitlements that shall be required and is consistent with the WCMC.

All other ordinances and sections of the City of WCMC shall also apply, unless such standards are inconsistent with the provisions and objectives of the Vincent Place Specific Plan in which case, the Specific Plan shall apply.

### 6.1.1 Interpretations

The Planning Director of the City of West Covina, or their designee, shall have the responsibility to interpret the provisions of the Vincent Place Specific Plan.

### 6.1.2 Substantial Conformance

“Substantial conformance” means that any proposed activity, construction, and development complies with the Vincent Place Specific Plan, adopted mitigation measures, and project conditions of approval; where no additional units, property, or parcels beyond that provided by the specific plan or approved map are involved; approved minimum lot sizes and setbacks are maintained; proposed construction is consistent with the architectural guidelines provided in the specific plan; no grading beyond substantial conformance limits is proposed; and no significant environmental impact is created. The

Amenities, landscaping, architectural plotting and design, and wall or fence design may vary as long as they continue to meet the development standards specified in Chapter 2 and are generally consistent with the purpose and intended character described in Chapters 3 and 4. The Planning Director or their designees shall make a determination of substantial conformance prior to the issuance of any permits or approval of plans. No written determination is required provided that plans submitted to the city for approval exhibit substantial conformance with the Vincent Place Specific Plan.

### 6.1.3 Modifications & Minor Adjustments

In order to provide flexibility to the review process, the Planning Department, without a public hearing, may approve through a Minor Site Plan Review any minor adjustments to the project of a development standard for yards, setbacks, and architecture.

## 6.2 Implementation

The following section describes how the Vincent Place Specific Plan will be built and financed.

### 6.2.1 Phasing

The community shall be developed in two (2) phases:

- Phase 1 shall include demolition of all structures and clearing of the site, grading, and installation of all utilities and roadways. Phase one is anticipated to last approximately six (6) months.
- Phase 2 shall include the construction of all buildings. Phase 2 may be further divided into sub-phases and is expected to last approximately six (6) months depending upon market conditions.

All new development shall provide the appropriate level of public improvements, services, and utilities to adequately serve the proposed uses for each phase of development. Confirmation by the Public Works Department of adequate facilities shall be provided prior to the issuance of building permits.

If needed, temporary on-site private streets and drive aisles shall be provided subject to the approval of the Public Works and Fire Departments.

Each undeveloped phase shall be maintained in a weed free condition.

### 6.2.2 Financing

All private infrastructure improvements shall be funded entirely by the developer of the community. Public improvements shall be conditioned to be completed by the developer as determined appropriate by the City of West Covina. The developer shall pay any applicable fees to the City of West Covina or other applicable agencies if required for connection and/or capacity expansion fees (or other similar fees). The City of West Covina shall ensure and developer shall install adequate facilities available to serve the project prior to issuance of an occupancy permit for any portion of the project consistent with the phasing policies describes in section 6.2.1.

Consistent with the City of West Covina's requirements or mitigation measures identified in the Mitigated Negative Declaration, the project developer shall be required to pay fees or contribute to public service facilities on a prorated share based on the project impacts to public services. Confirmation that the project has met its fair share contribution to public services shall be required prior to the issuance of a building permit or occupancy permit, as determined by the Public Works Director.

### 6.2.3 Maintenance

The Vincent Place Community shall have a private HOA. The association shall provide maintenance of all private common area improvements, including landscape, fence, and wall repairs. The HOA shall also be responsible for all private streets, alleys, and motor courts. Lastly, the HOA shall be responsible for all front yard landscape improvements adjacent to West Workman Avenue, Vincent Avenue, and West Garvey Avenue North.

All improvements within the specific plan area shall comply with maintenance of standards, buildings, and structures for Multi-Family Zones as specified in the WCMC.

**Appendix A -  
General Plan Consistency Analysis**



# General Plan Consistency Analysis

The General Plan Consistency Analysis provides a summary of applicable goals, policies, and actions to demonstrate the specific plan's compliance with the General Plan as required by State law. Related policies and actions have been grouped together, where appropriate, to provide a more concise discussion. Policies and actions, indicated with a "P" and "A" prefix respectively, are highlighted in orange and are followed by a brief analysis of the how the specific plan implements them.

## General Plan Part 2 – 1. Natural Community

**“Our goal is to live in balance with our natural environment by preserving the existing open spaces; improving the quality of natural resources; and greater access to open space.”**

P1.1 Promote alternative transportation modes like walking, biking, and transit that reduce emissions related to vehicular travel.

The Vincent Place Specific Plan promotes alternative modes in a variety of ways. The specific plan proposes to increase housing density near retail, service, and entertainment uses, which are located immediately across the street and less than a quarter mile south of the specific plan area. Biking is supported by providing bicycle parking in compliance with CalGreen. Transit is located across the street at the corner of West Workman Avenue and Vincent Avenue and is also available at Plaza West Covina, less than a quarter mile south of the site.

P1.2 Promote the use of energy-efficient vehicles.

The project supports the use of energy efficient vehicles by providing EV charging in compliance with CalGreen.

P1.3 Minimize the adverse impacts of growth and development on air quality and climate.

The project minimizes the adverse impacts of growth and development on air quality and climate by providing high density housing within walking distance of transit, retail services, and entertainment. Proximity to these uses may reduce the number of vehicle miles traveled and promotes the use of alternative modes of travel. Furthermore, the project will comply with CalGreen and the current energy code, which requires the provision of EV charging, bicycle parking, energy efficient appliances, increased insulation, high performance windows, solar roof panels, water efficient landscaping, and more. These design features all contribute to a reduction in energy use and vehicle emissions, which help minimize impacts on air quality and climate.

P1.5 Where appropriate, new development shall minimize impervious area, minimize runoff and pollution, and incorporate best management practices.

In accordance with regional and local regulations, Best Management Practices have been implemented as part of the stormwater treatment plan for the site to prevent pollutants from entering the storm drain system. Due to the soil's poor percolation, biofiltration was selected as the most appropriate method for treating stormwater. Stormwater is collected, detained, and treated prior to entering the City's storm drain system.

P1.6 Preserve, conserve, and add to public open space.

A1.6b Continue to add public open spaces through developer dedication, in-lieu fees, or conservation easements.

The developer is required to pay in-lieu fees for parkland. In addition, the project provides on-site recreational amenities, which will reduce the demand on public parks and open space areas.

P1.9 During the review of public and private development projects, analyze potential impacts to views of natural areas from public streets, parks, trails, and community facilities.

There are no views from or through the site and the proposed project will not impact any views.

P1.10 To preserve nighttime views within and immediately adjacent to single family residential zones, require property owners within and directly adjacent to these zones to utilize shielding and directional lighting methods to direct lighting away from adjoining properties.

A1.10 Adopt development standards that prevent glare and light trespass and assess the impact of outdoor lighting during the development review process

Section 2.3.10 of the specific plan requires that site lighting be evaluated as part of the design review process and includes lighting standards designed to minimize skyglow and reduce light trespass onto adjacent properties.

P1.11 Plant to maximize the social, economic, and environmental benefits of trees.

A1.11a Develop a street tree master plan for the downtown area as part of the Downtown Plan and Code. Develop urban design strategies with unique palettes of trees that add character to the street space. Consistency and variation in tree form, color, and seasonal display can be used to create dynamic and harmonious streetscapes.

A1.11c Pursue an expanded and equitable distribution of trees and greening throughout the City. Fill in the gaps in canopy cover, address aging tree population, and identify vacant and new planting spots. Target planting where pedestrian and

public realm improvements are prioritized such as safe streets to schools and parks. Set a citywide tree canopy coverage goal.

The projects landscape concept has been designed to plant and replace street trees along both the Vincent Avenue and West Workman Avenue frontages. The Vincent Avenue frontage currently has no trees. The West Workman Avenue frontage has a few widely spaced trees. This new landscape plan will greatly increase the number of street trees. Within the site, a tree survey was conducted.

### General Plan Part 2 - 2. Our Prosperous Community

**“Our goal is to maintain and monitor West Covina’s fiscal health, reinforce the West Covina’s image as a great place to Live, Work and Play in the San Gabriel Valley, and nurture local businesses and attract non-retail jobs.”**

P2.1 Maintain and enhance the City’s current tax base

A2.1 While the City of West Covina has a significant inventory and variety of retail space, there should be continuing efforts to improve the performance of retail establishments in terms their generation of taxable sales for the City. The City is fortunate enough to capitalize on its location along the I-10 corridor with a regional mall, several big box stores, and a cluster of auto-dealers, and numerous neighborhood and community serving retail centers. Strategies and actions to enhance retail performance may include:

- Attract unique eating and drinking, and ethnic dining establishments to the downtown area that can capture a greater share of local food and beverage dollars. Local and regional eating and drinking establishments (as well as some national fast-casual chains) drive visitation and can add to the ‘authenticity’ of a vibrant downtown district around Plaza West Covina. Carefully curate the retail and dining offer of downtown West Covina with

targeted retail recruitment in a manner that complements new developments, public realm investments, and existing and on-coming retail in established retail centers.

- Improve connections to the Mall from Surrounding Areas. In order for the mall visitors to support other complementary retail and dining in the downtown area and vice versa, creating strong connections to both the Glendora Avenue Corridor and the Civic Center from the Mall location can help create a more integrated downtown district.
- Explore Opportunities to Reposition Underperforming Strip Centers along Corridors. While as of 2015, some of the neighborhood and community serving retail centers are doing well, the City has a significant inventory of undifferentiated retail centers and stand-alone retail, many of which compete with each other, driving down sales performance. The City should explore opportunities to encourage the repositioning of

some of these underperforming retail real estate, which either achieve rents below that in comparable retail markets, or have not been renovated within the past 15 to 20 years. In addition to renovation and reinvestment in the capital facilities some of the existing under-performing retail real estate can be repositioned with a mix of other employment of residential uses and possibly smaller but higher performing retail footprints.

The proposed project supports nearby retail uses by creating high-density housing within walking distance of restaurants, shopping, entertainment and services.

A2.1c Ensure that new development is not a fiscal burden to the City. The City should adopt a clear set of policies to ensure that new development does not impose any fiscal burdens to the City and does not take away resources from providing the current level of services. This is typically achieved by requiring proponents of new developments to provide a fiscal

impact analysis of proposed projects, and have it peer reviewed by an independent consultant (compensated by the project proponents), prior to approving final entitlements. While it is not suggested that all projects be fiscally positive as a requirement for approval, as there may be projects considered by the City for their strategic importance or catalytic potential, it is important that the fiscal impacts of new projects are publicly circulated and reviewed as part of the City’s decision making process.

A Fiscal Impact Study was conducted as part of this project and concluded that the project is projected to generate approximately \$222,000 in annual General Fund revenue to the City. City costs related to the project are projected at \$145,000 per year. Thus, the project would generate a net fiscal benefit of about \$77,000 per year to the City’s General Fund.

P2.3 Focus new growth in the Downtown Area to create vibrancy and invest in key public improvements. West Covina should capitalize on developer interest in Downtown, with targeted improvements that will encourage further investment.

A2.3a Invest in infrastructure and improve the public realm. A cohesive “sense of place” and aesthetic appeal is increasingly important to a broad range of demographics and implementing public realm improvements will be essential to capturing new development. West Covina should prioritize realizing the improvements identified in the General Plan update during regular streetscape upgrades, as well as investing in targeted improvements. In addition to streetscape, signage, and lighting improvements, the City should consider aesthetic improvements to the Walnut Creek Wash in partnership with County and other regional partners. The improved Wash can become a recreational and leisure hub for residents

and visitors. The City should create a targeted downtown infrastructure implementation plan as part of the City's capital development and public works plan, and prioritize investments based available resources.

P2.5a Encourage transformative development in the triangle bounded by Glendora Avenue, Vincent Avenue, and Interstate 10.

Although the project is not located in the downtown, the specific plan area serves as a gateway to the downtown area and the triangle bounded by Glendora Avenue, Vincent Avenue, and Interstate 10. As such, improvements to the Vincent Avenue corridor will benefit the downtown and will encourage additional future investment in the downtown area.

P2.6 Create a diversity of housing options. Younger demographics are increasingly drawn toward urban-style, walkable living, as are baby boomers who value their independence, but anticipating limited mobility, are moving to multifamily homes in close proximity to transit, retail, food and dining, and entertainment choices.

A2.6a Support higher-intensity and high-quality multifamily development in the downtown. Encourage multifamily projects that are urban in design and facilitate a pedestrian oriented environment by utilizing ground-floor retail, and active and vibrant streetscapes. West Covina should promote opportunities, engage developers, and support higher-intensity, mixed-use multifamily residential development. The City can work to familiarize the development community with the City's General Plan and Vision for Downtown, and emphasize the City's commitment with a priority list of infrastructure investments, and expectations in terms of development/design quality.

P2.7 Target employment based uses to downtown. West Covina's employment base as of 2015 is dominated by retail trade, which as an industry, is projected by the Southern California Association of Governments (SCAG) to have relatively slow growth over through 2025. Education, healthcare and professional services, however

are expected to have above-average growth, and capturing one or more major employers in these sectors could not only improve the City's economic strength and provide high-quality jobs for residents, but could also anchor one of many key currently underutilized sites in West Covina's downtown, and support the City's fiscal health.

The Vincent Place Specific Plan provides new medium- to high-density housing options in walking distance of retail, food and dining, and entertainment choices, which are appealing to a young professional demographic. Offering new, attractive, and economical housing options for these buyers within walking distance of downtown can create an employment base for the type of businesses the City seeks to attract.

## General Plan Part 2-3. Our Well Planned Community

**“Our goal is to direct new growth to the downtown area where development pressures are the greatest and change is desired, while protecting the stable residential areas; target housing and job growth in strategic areas along the corridor; and encourage pedestrian-oriented mixed-use development, while providing vibrant public gathering places.”**

P3.1 Preserve existing housing stock.

A3.1 Incorporate standards in the development code to preserve the existing form and character of stable residential areas and prevent encroachment of incompatible land uses and intensity.

P3.2 Support vibrant, economically strong neighborhoods through education and enforcement of property maintenance regulations.

A3.2 Establish incentives to upgrade the appearance of poorly maintained or otherwise unattractive sites, and enforce existing land maintenance regulations.

P3.3. New growth will complete, enhance, and reinforce the form and character of the unique West Covina neighborhoods, districts, and corridors.

A3.3. Adjust regulations for the neighborhoods, districts and corridors to reflect the nature of intended change.

The Specific Plan is designed to redevelop an aging school site with new, high quality residential uses that are designed to complement the adjacent established residential neighborhood. By adopting a specific plan, the accompanying development regulations are designed specifically to complete, enhance, and reinforce the character of the neighborhood while also adjusting standards for Vincent Avenue to reflect the nature of intended change in the nearby downtown area. The Specific Plan also requires the implementation of a HOA who will be responsible for enforcing CC&Rs and maintaining

commonly owned parcels, including the front yards along Workman and Vincent Avenue. This maintenance entity will ensure that the proposed improvements to this property will remain attractive and in good repair for the long-term, thereby supporting the stability of the neighborhood.

P3.4 Direct new growth to downtown area and the corridors. Adapt economically underused and blighted buildings, consistent with the character of surrounding districts and neighborhoods, to support new uses that can be more successful. Provide opportunities for healthy living, commerce, employment, recreation, education, culture, entertainment, civic engagement, and socializing.

The specific plan area is currently owned and operated by the West Covina Valley Unified School District. The District’s decision to sell the property indicates that this location is no longer needed to serve the educational needs of the community; therefore, a new use must be assigned to allow the property to be developed to its highest and best use. As an infill site, residential uses offer the most compatible

use. New homes will replace aging school buildings and new landscaping and street trees will revitalize both corridors, improving walkability and the character of the area. The proximity to transit, shopping, entertainment, and services as well as convenient freeway access make this an ideal opportunity for high density housing; however, adjacencies to existing single family neighborhoods require a more moderate density to preserve the character of these established neighborhoods. Existing multifamily uses located to the south of the site represent an appropriate compromise. The Specific Plan proposes a blend of residential densities that appropriately address the single-family adjacencies with limited height and density while allowing for the increased densities that are appropriate for the south-easterly portions of the site. This proposal offers the City an opportunity to implement general plan goals for more efficient and sustainable development that capitalizes on transit and walkability while also supporting the goal of preserving established neighborhoods.

A3.2 Adopt form-based codes for the Downtown area and Corridors that:

- Utilize clear development requirements tailored to the community’s vision;
- Increase land use choices and encourage community vitality;
- Foster a rich public realm, with engaging private frontages, complete streets, and access to a range of open spaces;
- Insist on the highest standards of quality in architecture, landscaping, and urban design; and
- Offer predictable streamlined development review process and produce predictable outcomes.

Although the Specific Plan is not form-based, it fulfills the intent by providing a clear vision for the property with accompanying development standards designed to foster improved corridors

along West Workman Avenue and Vincent Avenue with private frontages that engage the sidewalk and street. Design Guidelines provide high standards of quality for architecture and landscaping with clear direction and a defined development review process for implementing the Specific plan.

P3.6 Reduce West Covina’s production of green-house gas emissions and contribution to climate change and adapt to the effects of climate change.

A3.6 Key land use adaptation strategies to reduce greenhouse gas emissions are:

- Promoting transit-oriented infill development, and
- Providing incentives for high-performance buildings and infrastructure.

The Specific Plan proposes infill residential development within walking distance to transit, retail, entertainment, and services. These adjacencies promote a reduction in vehicle trips, thereby reducing emissions that contribute to climate change. Buildings will also be

constructed to current building code standards that require high-performance net-zero buildings, water efficient landscaping, parking for bicycles, charging for electric vehicles, and more that significantly reduce greenhouse gas emissions when compared to existing housing and the uses that currently exist on site.

## Part 2 – 4. Our Accessible Community

**Our goal is to provide safe access for all users—pedestrians, cyclists, public transit users, and motorists—of all ages and abilities. Design streets that consider both the existing and future context of transportation and land use and seek to be in harmony with the adjacent area’s history, environmental resources, and overall aesthetic.**

P4.1 Coordinate and integrate land use, economic and transportation planning policies.

A 4.1 Adopt a new land-use oriented system of street classifications as described in the City-wide Thoroughfare Plan.

Vincent Avenue and West Workman Avenue are designed to the new street classification system adopted by the General Plan. The proposed land uses support the vision of integrated landscape and transportation by providing higher densities of housing within walking distance of transit, shopping, entertainment, and services.

P4.8 Implement “green” streetscape elements for purposes of beautification, carbon reduction and stormwater runoff management.

A4.8 As part of the green infrastructure plan, develop a strategy to increase the tree canopy along existing arterial streets by 25 percent.

The Vincent Avenue and West Garvey Avenue North frontages currently have no street trees and the West Workman Avenue frontage has only three (3) widely spaced trees. Both frontages will be planted with new street trees spaced approximately 30 feet on center, thereby increasing the tree canopy by more than 90%, beautifying these two corridors, increasing carbon sequestration, and shading sidewalks to reduce heat island effect and provide pedestrian comfort.

P5.4 Buildings, lots, and blocks primarily scaled around the pedestrian and transit, creating a human-scaled spatial enclosure. Buildings should be informed by surrounding physical context, the adjacent landscapes, structures, local conditions, building traditions, and the microclimate.

A5.4 Adjust development regulations and review processes to require assessment and appropriate response to local context.

The project was designed with the local context in mind and development standards including density, height, setbacks, and more were specifically designed to reflect these adjacencies. Homes are required to provide front doors along West Workman Avenue and Vincent Avenue and will be enhanced with porches, patios, and other design features that provide pedestrian scale and engage the sidewalk. Street trees are also required to shade sidewalks and provide pedestrian comfort.

P5.6 Continue existing beneficial energy conservation programs, including adhering to the California Energy Code in new construction & major renovations.

Homes will be designed to current Building Code standards, which require the highest level of energy consideration including the installation of photovoltaic panels (solar roofs), increased insulation and low-E windows, energy efficient appliances, and more that result in high performance net-zero energy homes.

P5.7 Manage & develop safe, reliable, economical water supply for existing & planned new customers.

A5.7 Reduce demand through water conservation techniques.

Homes and landscaping will be designed to current Building Code standards, which require energy conservation through the use of smart irrigation controller, low flow toilets, water efficient appliances, and more.

P5.8 Ensure provision of adequate sewer system capacities to serve existing & planned development.

A5.8c Pursue construction of new or replacement sewer lines consistent with the City's Sewer System Management Plan.

As part of the preparation of the Specific Plan a sewer capacity study was completed. No off site improvements are required.

P5.9 Provide adequate facilities & services for the collection, transfer, recycling, & disposal of refuse.

As part of the preparation of the Specific Plan, Athens Services was consulted and a waste collection plan was developed to ensure that adequate waste management services are available and accommodated to serve the waste collection needs of the proposed residential uses.

## General Plan Part 2 – 6. Our Healthy and Safe Community

**“ Our goal is to create environments that encourage safe and healthy lifestyles and maximize the opportunities for physical activity. Well-designed public and semi-public realm foster social interaction, and good programming can draw people out of their homes and into their community.”**

P6.1 Promote and support transportation decisions that reduce driving and increase rates of transit use, walking, and biking.

A6.1b The development review bodies should consider active living as a development criteria and encourage: Where practical, locating the building near transit and a diverse mix of uses; Siting the building to encourage walking; and Securing bicycle parking, and where feasible, other cycling friendly facilities such as showers and lockers.

The Vincent Place Specific Plan promotes alternative modes in a variety of ways. The specific plan proposes to increase housing density near retail, service, and entertainment uses, which are located immediately across the street and less than a quarter mile south of the specific plan area. Biking is supported by providing bicycle parking in compliance with CalGreen. Transit is located across the street at the corner of West Workman Avenue and Vincent Avenue and is also available at Plaza West Covina, less than a quarter mile south of the site.

P6.2 New and renovated buildings should be designed and constructed to improve the health of the residents, workers, and visitors.

Homes and landscaping will be designed to current Building Code standards, which include measures for healthy and comfortable buildings including standards for thermal comfort, ventilation, and more.

P6.7 Preserve and strengthen social capital by supporting formal and informal social networks in the community.

A6.7 Increase access to safe, comfortable, and interesting public spaces.

The specific plan requires a minimum amount of common open space areas that must be improved with amenities and landscaping. These areas provide opportunities for people to gather and form formal and informal social networks with their neighbors in safe and comfortable spaces.

P6.12 Address safety during development review process.

A6.12a Incorporate Crime Prevention Through Environmental Design (CPTED) principles and best practices into zoning ordinances and development review processes for new development and major rehabilitation.

Public Safety services are provided by the City of West Covina Police Department. The project has been designed with Crime Prevention Through Environmental Design (CPTED) principles in mind. Buildings are oriented with front doors and windows facing public sidewalks and common areas to allow for natural surveillance. The landscape plan utilizes

the use of walkways, fences, lighting, signage, and landscape to clearly guide people and vehicles to and from the proper entrances. These way-finding features include entry monumentation at both vehicular entrances and pedestrian portals in key locations. Walls, fences, bollards, and shrubs are also used to reinforce and define public areas from private spaces. Finally, the requirement for an HOA will ensure that properties are properly maintained to prevent the specific plan area from becoming an attractive nuisance.

P6.14 Address fire-prevention during development review process.

Section 5.9 of the Specific Plan addresses fire prevention.

P6.15 Limit the exposure to potential natural hazards through adoption and enforcement of appropriate building standards, land use controls, and environmental review.

A 6.15a Require all development to comply with the provisions of the latest California Building Code, including provisions related to design

and engineering to mitigate potential impacts from seismic events, fires, and other hazards.

All buildings are required to be constructed to current Building Code requirements.

A6.15c Require CEQA environmental reviews to analyze and as necessary mitigate potential natural hazards on a site-specific basis.

The CEQA review analyzed potential hazards and determined that the potential impact of natural hazards is less than significant. Please refer to the Initial Study - Mitigated Negative Declaration for details.

A6.15d Require Specific Plans to recognize the findings of this Safety Element as critical land use guidelines are developed for specific areas.

The CEQA review analyzed potential hazards and determined that the potential impact of natural hazards is less than significant; therefore, no additional safety guidelines related to natural hazards are required.

P6.23 Ensure that new development is not exposed to excessive noise.

A 6.23a Require new developments to reduce exterior noise levels for any usable outdoor area to the “normally acceptable” range in the City’s land use/noise compatibility matrix, shown in Table 6.4 of this Noise Element.

A6.23c Require any residential component of all new buildings to comply with the requirements of the residential noise insulations standards of the most recent edition of California’s building code.

P6.24 Ensure that new development does not expose surrounding land uses to excessive noise.

A6.24 Through the environmental review process, require applicants for new development proposals to analyze potential noise impacts on nearby noise-sensitive receivers before project approval. As feasible, require appropriate noise mitigation to address any identified significant noise impacts.

P6.27 Minimize the noise impacts of transportation facilities and improvements.

A6.27C Consider, where appropriate, tools for mitigating noise impacts of transportation facilities on new and existing development. Such tools may include noise insulation for interior spaces, site design solutions, and noise barriers such as sound walls and berms. Site design solutions such as setbacks are frequently preferable to barriers, and berms are frequently preferable to sound walls, for reasons of aesthetics and potential noise reflection effects.

The CEQA review analyzed potential noise impacts. The CEQA document includes mitigation measures that reduce all potential noise impacts to less than significant levels. Please refer to the Initial Study - Mitigated Negative Declaration for details.

## General Plan Part 2 – 7. Our Creative Community

**“Our goal is to become a vibrant cultural center by weaving the arts and local heritage into everyday life.”**

P7.3 Increase public art and cultural expression throughout the community.

The project is required to pay an in-lieu fee for public art.

P7.7 Assess, avoid, and mitigate potential impacts to archaeological, paleontological, and tribal resources through the CEQA review process for development projects carried out within the City. Comply with existing regulations relating to Native American resources, including California Environmental Quality Act Section 15064.5(d) and (e) and Public Resources Code §5097.98 concerning burial grounds, and Assembly Bill 52 and Senate Bill 18 for consultation with Native American tribes for development projects carried out within the City.

A7.7 Require development to avoid archaeological and paleontological resources, whenever possible. If complete avoidance is not possible, require development to minimize and fully mitigate the impacts to the resources. Notify California Native American tribes and organizations of proposed projects that have the potential to adversely impact cultural resources.

The CEQA review analyzed potential impacts to historic, archaeological, and paleontological resources and includes mitigation measures to reduce all potential impacts to less than significant levels. Please refer to the Initial Study - Mitigated Negative Declaration for details.

## General Plan Part 2 - 8. Our Active Community

**“Our goal is to enhance the value of fitness and celebrate healthy living; improve the existing condition of public open spaces and facilities to encourage use; and acquire, develop, and maintain quality of public open spaces and trails.”**

P8.1 Encourage the distribution of a variety of park types and sizes throughout the City.

A8.1 Develop variety of new park types of different sizes and require them in new development.

P8.2 Encourage the development of non-traditional park types, including green belts, linear parks, urban trails, and pocket parks.

P8.4 Small and frequent open spaces should be dispersed throughout the neighborhood.

A8.4 Develop new neighborhood parks, pocket parks, and community gardens as feasible and appropriate to meet citizen needs and require them in new development.

Although these policies and actions are intended for public parks it should be noted that the proposed project will pay its fair share of park fees and will also provide recreational amenities that serve as neighborhood and pocket parks for the specific plan community. These spaces and amenities support healthy living and reduce the need for residents to travel to public parks to enjoy recreational activities, thereby reducing the demand for similar public park facilities.

