

PROJECT DATA	
SITE ADDRESS	1200 E SAN BERNARDINO
TOTAL SITE AREA	926,101 SF 20.51 AC
ZONING	Industrial
PARCEL NUMBER	8434-015-018
<b>SETBACKS</b>	
	Adjacent to Residential    Adjacent to Nonresidential
FRONT YARD SETBACK	30 FT    25 FT
SIDE YARD SETBACK	25 FT    5 FT
REAR YARD SETBACK	25 FT    12 FT
<b>REQUIRED PARKING</b>	
Office Occupancy	
9,478 SF x 1 SPACE/300 SF =	32 SPACES
Industrial Occupancy	
159,840 SF x 1 SPACE/500 SF =	320 SPACES
<b>TOTAL REQUIRED = 352 SPACES</b>	
<b>PARKING PROVIDED</b>	
9' x 18' (Associate Parking) =	185 SPACES
11' x 27' (Van Fleet Parking) =	626 SPACES
11' x 27' (Parallel Parking) =	5 SPACES
Accessible Stalls =	8 SPACES (1 VAN)
<b>TOTAL PROVIDED = 811 SPACES (8 ACCESSIBLE (1 VAN))*</b>	
*EIGHT (8) ACCESSIBLE SPACES REQUIRED (1 VAN) PER CALIFORNIA ACCESSIBILITY CODE TABLE 11B-208.2 FOR 301 TO 400 SPACES	
<b>SITE AREA (PRE-CONSTRUCTION)</b>	
BUILDING AREA	177,440 SF 19.2%
PAVEMENT AREA	616,197 SF 66.5%
GREEN SPACE AREA	132,464 SF 14.3%
<b>SITE AREA (POST CONSTRUCTION)</b>	
EXISTING BUILDING AREA	168,569 SF 18.2%
PAVEMENT AREA	634,165 SF 68.5%
GREEN SPACE AREA	123,367 SF 13.3%

**SCOPE OF WORK**

EXISTING CONCRETE TILT-UP SINGLE STORY WAREHOUSE BUILDING (S-1 OCC.) WITH SUPPORTING INTERIOR OFFICE AREA (B OCC.) AND BREAK ROOM (A-3 OCC.)

WORK TO INCLUDE DEMO OF TILT WALL FOR PROPOSED DOCK DOOR OPENINGS, DEMO OF EXISTING NON-LOAD BEARING WALLS, PLUMBING, ELECTRICAL, DEMO OF EXISTING MEZZANINE, DEMO OF EXISTING STOREFRONT FOR NEW ROLL UP DRIVE-IN DRIVE OUT DOORS, WORK TO INCLUDE STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND SITE WORK.

EXTERIOR WORK INCLUDES BUT NOT LIMIT TO: RESTRIPIPING OF EXISTING SITE, NEW DIRECTIONAL STRIPING AND RECONFIGURATION OF PARKING LAYOUTS, NEW SMOKER SHELTER AT NORTH / EAST CORNER OF BUILDING, NEW RIDE SHARE SHELTER AND STANDARD SITE DIRECTIONAL AND OPERATIONAL SIGNAGE, BUILDING MOUNTED SIGNAGE (PERMIT BY SIGNAGE VENDOR).

RELOCATION OF ON-SITE FIRE HYDRANTS, (2) NEW SITE SCREENING WALLS AT TRUCK COURT, NEW PREFABRICATED PLATFORM COORDINATION AT TRUCK COURT, NEW SITE FENCING, GATES, NEW CURB WORK, REGRADING AT NORTH VAN EXIT AND REGRADING ASSOCIATED WITH DRAINAGE LOW SPOTS.

ELECTRICAL COORDINATION ON SITE FOR EV LOCATIONS, SIGNAGE, ROOF DRAIN SIZES AND LAYOUTS INCLUDING NEW CANOPIES, CLOSE OFF ONE EXISTING DRIVEWAY AND RECONSTRUCT SIDEWALK/CURB ON SAN BERNARDINO ROAD, CONSTRUCTION NEW LID STORMWATER TREATMENT BMP ON NORTH SIDE OF BUILDING, DEMOLITION OF ALL EXISTING LIGHT POLES, FIXTURES, POLE BASES AND BUILDING MOUNTED LIGHTING AND INSTALLATION OF NEW LIGHT POLE, LED FIXTURES, LIGHT POLE BASES AND EXTERIOR "WALL-PACK" BUILDING MOUNTED LIGHT FIXTURES TO MEET CITY LIGHTING REQUIREMENTS AND ILLUMINATION STANDARDS, REUSE OF THE EXISTING SERVICE TRANSFORMER AND EXISTING SERVICE ENTRANCE SWITCHGEAR THAT ARE LOCATED ON THE EXTERIOR OF THE BUILDING.

THE LANDSCAPE DESIGN WILL BRING THE SITE INTO CLOSER CONFORMANCE WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) WHILE MEETING THE GOALS OF THE CITY OF WEST COVINA. RENOVATION OF THE SITE WILL INCLUDE THE REMOVAL OF HIGH-WATER USE TREES AND SHRUBS IN AREAS OF NEW WORK, THE NEW LANDSCAPE PLANT PALETTE SHALL INCLUDE A MIX OF ROUGH-TOLERANT SHRUBS, GRASSES AND GROUND COVERS AS WELL AS A VARIETY OF SHADE TREES TO BE USED THROUGHOUT THE PARKING AREA AND PERIMETER THAT ARE APPROPRIATE FOR THE CLIMATE ZONE IN THE CITY.

THE NEW IRRIGATION WILL ADHERE TO THE REQUIREMENTS FOUND IN WELO AND THE CITY'S LANDSCAPE AND IRRIGATION GUIDELINES FOR COMMERCIAL AND INDUSTRIAL PROPERTIES IRRIGATED WITH LOW VOLUME DRIP TUBING OR EMITTERS FOR SHRUBS AND GROUND COVERS AND DEEP ROOT WATERING DEVICES (BUBBLERS) FOR TREES.

THE FACILITY WILL RECEIVE PACKAGES VIA LINE HAUL TRUCKS. THE PACKAGES WILL ENTER THE FACILITY THROUGH THE LOADING DOCK POSITIONS, THE PACKAGES ARE SORTED FROM THE CONVEYOR AREA AND THEN STORED ON MOBILE "BAKER'S RACKS" AND ROLLED TO THE LOADING AREA FOR VAN LOADING IN THE INTERIOR OF THE SHELL AND EXIT THE LOCATION FOR DELIVERY.

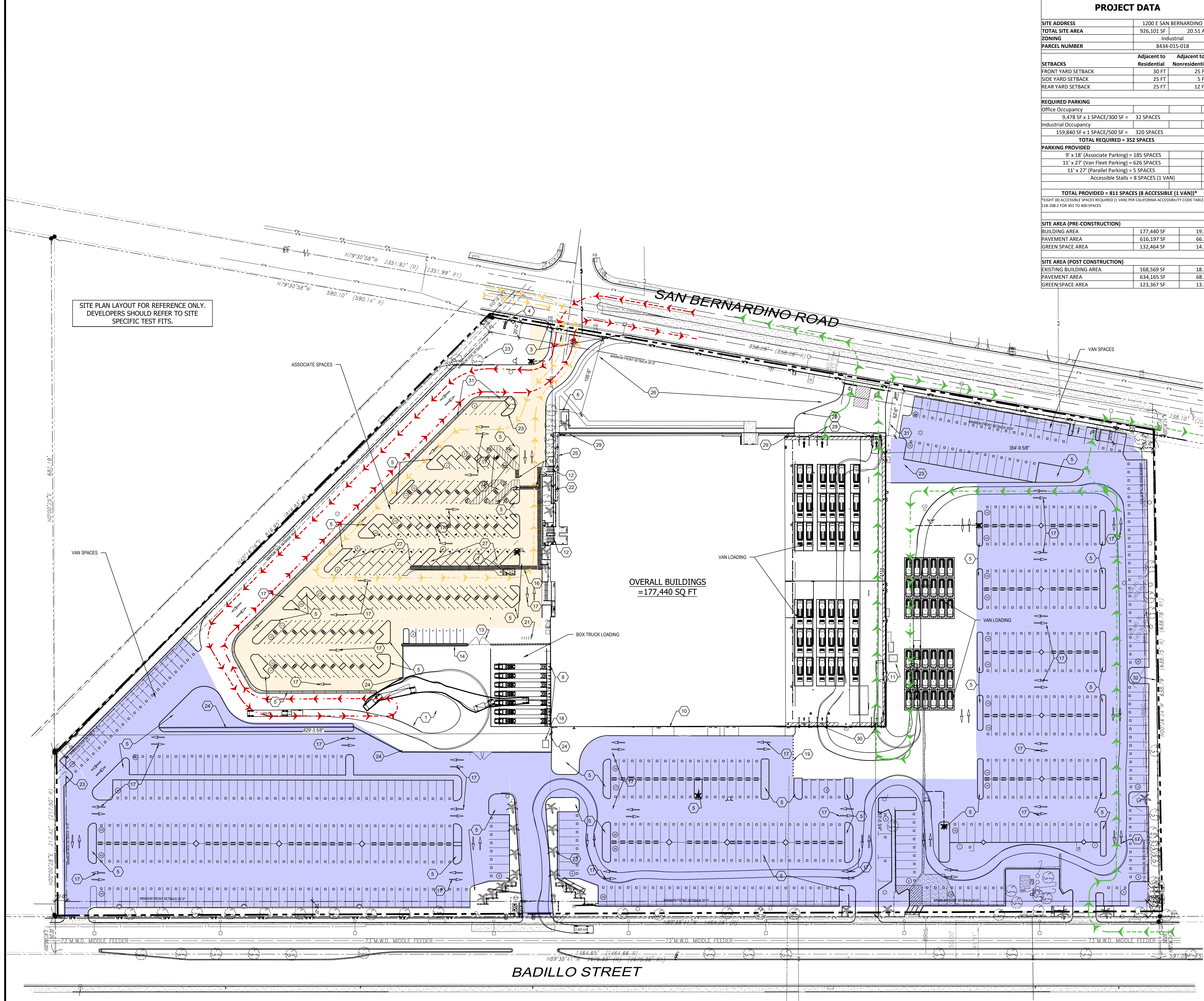
PARKING BREAKDOWN	
PARKING	PROPOSED ON-SITE
ASSOCIATE SPACES (9'x18')	185
VAN SPACES (11'x27')	626
<b>TOTAL PARKING</b>	<b>811</b>
UTR / VAN LOADING	36
VAN STAGING	36
TRAILER / BOX TRUCK LOADING	8

- KEY NOTES**
- PROPOSED LOADING DOCK AREA
  - EXISTING CONCRETE SIDEWALK
  - NEW ACCESSIBLE CURB RAMP
  - PROPOSED ILLUMINATED MONUMENT/PYLON SIGN, SEE ELEVATION 2/A0.11
  - PROPOSED LANDSCAPE ISLAND
  - PROPOSED PREFABRICATED ALUMINUM SMOKERS SHELTER WITH 7' WALL HEIGHT, SEE 4/A0.11
  - PROPOSED RIDE-SHARE ALUMINUM SHELTER WITH 7' WALL HEIGHT, SEE 3/A0.11
  - PROPOSED LOADING DOCK DOOR OPENINGS
  - PROPOSED EXTERIOR METALLIC PREFABRICATED PLATFORM
  - EXISTING BUILDING
  - EXISTING ELECTRICAL TRANSFORMER TO REMAIN
  - EXISTING STAIRS TO REMAIN
  - PROPOSED METALLIC CHAIN LINK SWING DOORS APPROXIMATED 7' HEIGHT
  - PROPOSED LANDSCAPE BUFFER BETWEEN LOADING DOCK AND ASSOCIATE PARKING LOT
  - PROPOSED ACCESSIBLE PARKING STALL CONFIGURATION PER LOCAL CODE
  - PROPOSED STRIPED PEDESTRIAN ACCESS
  - PROPOSED PAINTED TRAFFIC MARKINGS
  - PROPOSED TRASH ENCLOSURE WITH A MIN. 5'-5" CMU SCREEN WALL AND SOLID ROOF COVER.
  - PROPOSED BOLLARDS SPACED 4'-0" O.C. ALONG FRONT OF BUILDING
  - PROPOSED VAN EXIT CURB
  - PROPOSED BIKE RACKS
  - EXISTING RAMP WITH HANDRAILS
  - EXISTING LANDSCAPING AS REQUIRED BY CODE
  - PROPOSED CMU SCREENING WALL IN LOADING DOCK AREA, 12' HEIGHT
  - PROPOSED ASSOCIATES ENTRANCE
  - EXISTING STORMWATER MANAGEMENT AS REQUIRED BY CODE
  - PROPOSED EV CHARGER AND BOLLARDS AS REQUIRED PER CODE AND JURISDICTION
  - PROPOSED NEW VAN DOOR EXITS
  - PROPOSED EXIT AS REQUIRED BY CODE
  - PROPOSED NEW VAN DOOR ENTRANCES
  - PROPOSED 8' HIGH PERIMETER METALLIC CHAIN LINK FENCE
  - EXISTING CMU WALL SEPARATION BETWEEN SITE AND RESIDENTIAL AREA
  - LEFT EXIT TURN ONLY FOR ASSOCIATES

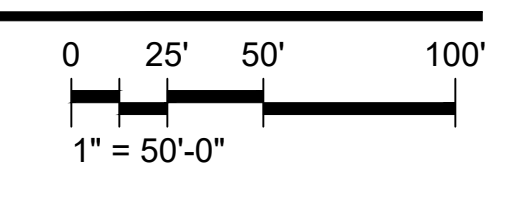
DESCRIPTION	A	DATE
Planning Package		10.23.20
Planning Package		12.18.20
Planning Package		03.19.21
Planning Package		07.13.21

**PROJECT STATUS**

JOB NUMBER: 20-5517-01  
 DRAWN BY: SP    CHECKED BY: AD  
 SHEET TITLE: PROJECT DATA & SITE PLAN  
 SHEET NUMBER: A0.10



**1 OVERALL SITE PLAN**  
SCALE: 1" = 50'-0"



**LEGEND**

# PARKING COUNT

→ ACCESSIBLE PATH OF TRAVEL

**CIRCULATION LEGEND**

- ASSOCIATE TRAFFIC FLOW DIRECTION
- DSP / FLEX TRAFFIC FLOW DIRECTION
- TRUCK TRAFFIC FLOW DIRECTION

DESCRIPTION	A	DATE
Planning Package		10.23.20
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PROJECT STATUS

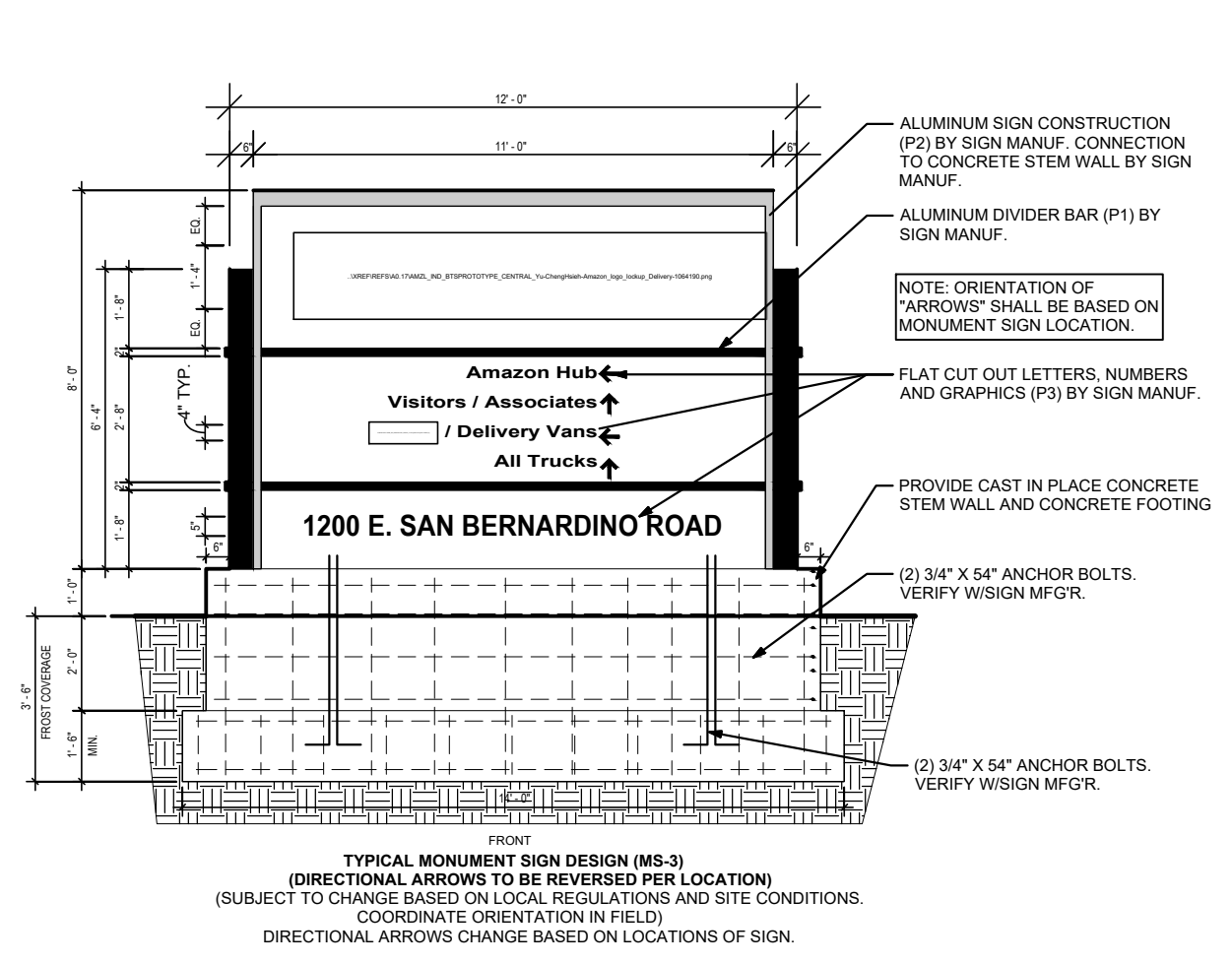
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20-5517-01

DRAWN BY  
SP

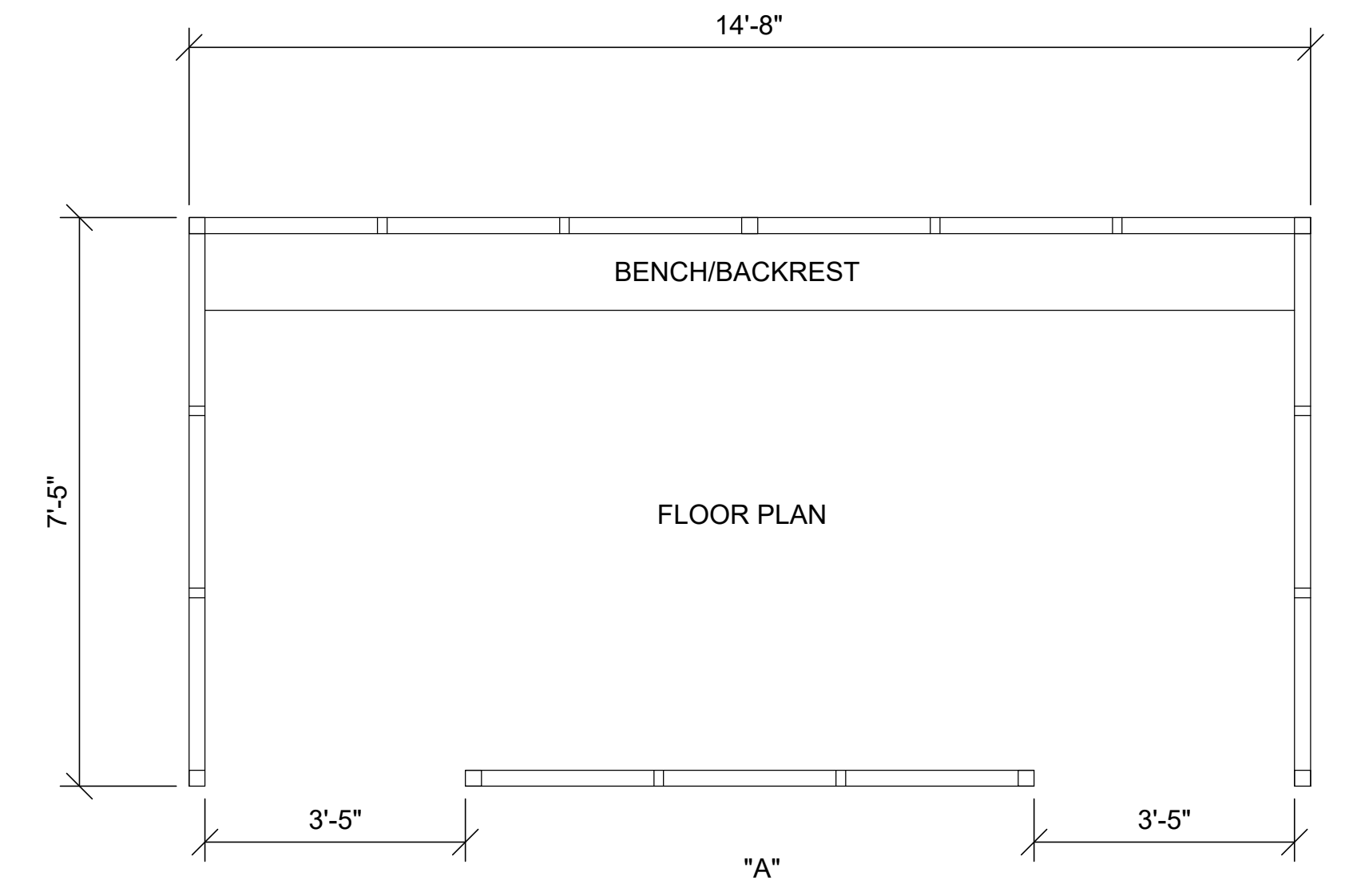
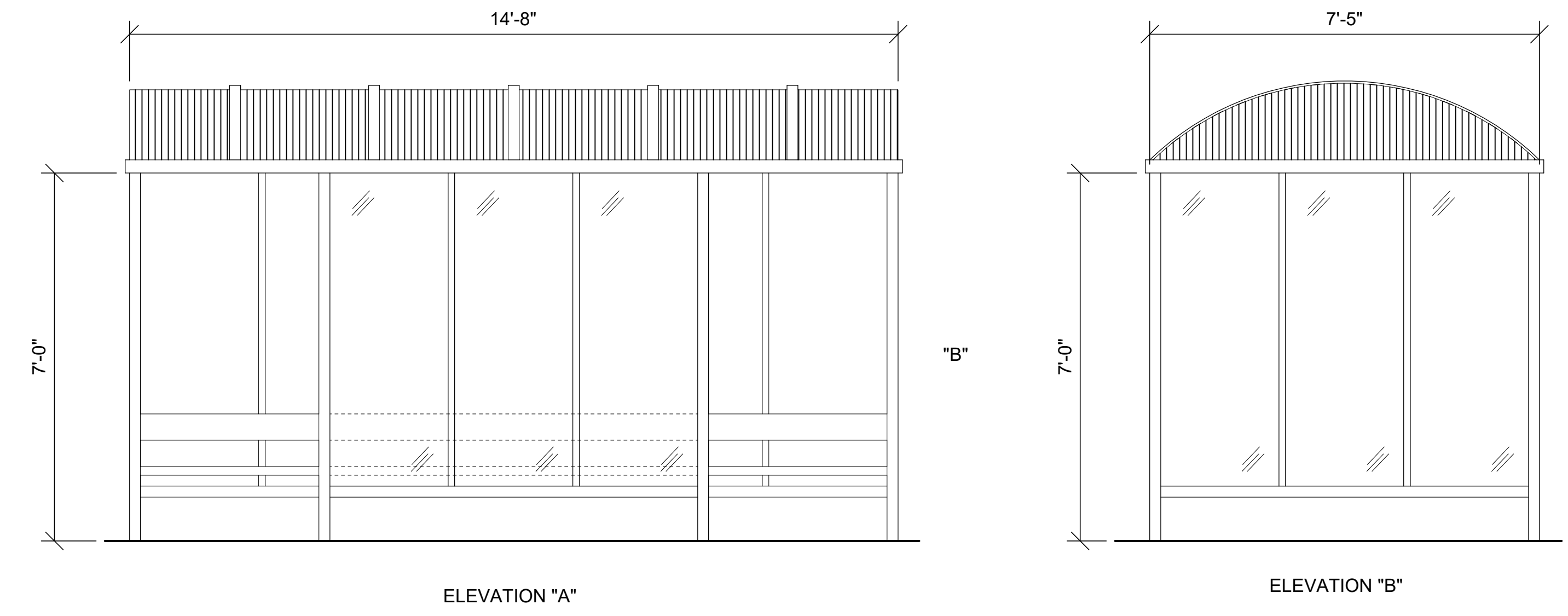
CHECKED BY  
AD

SHEET TITLE  
SITE DETAILS

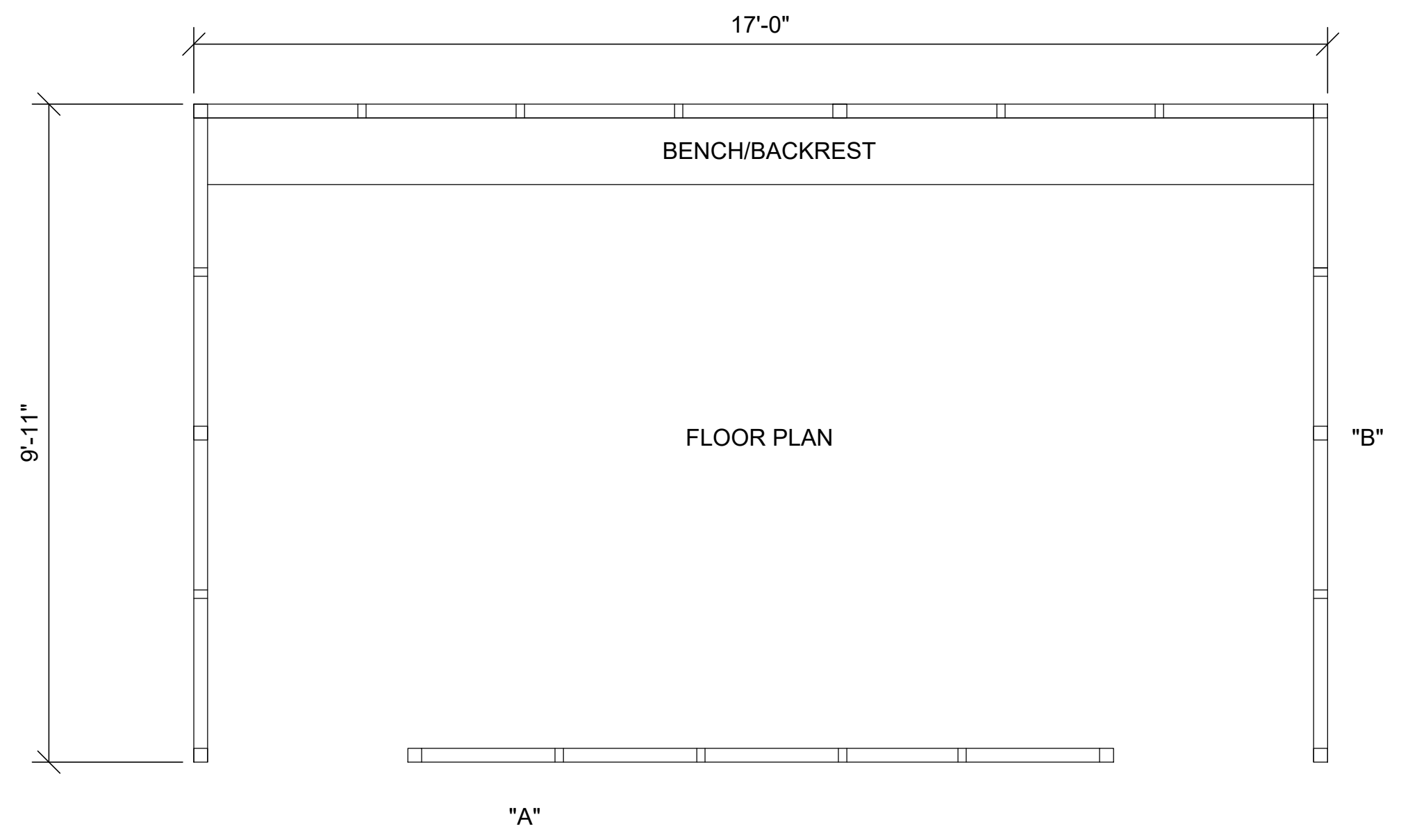
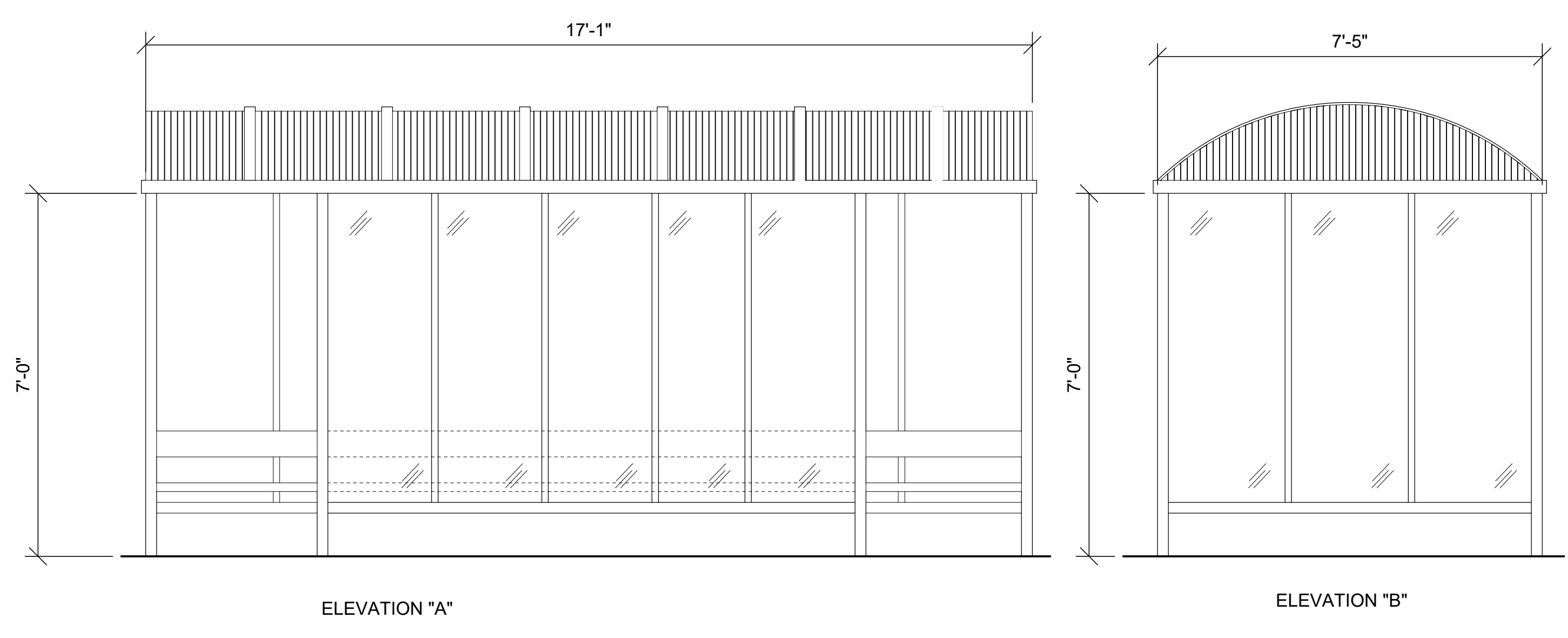
SHEET NUMBER  
**A0.11**



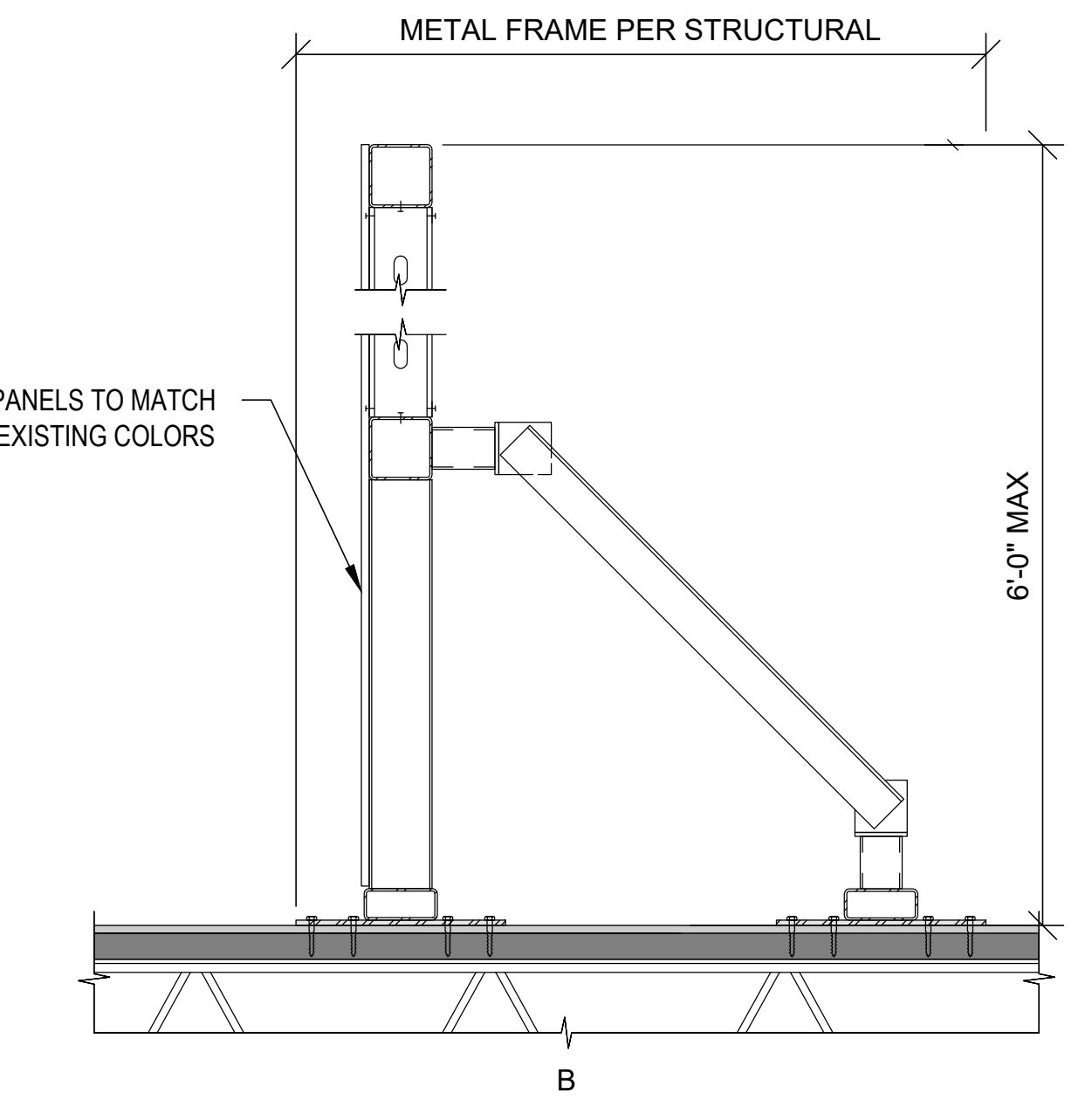
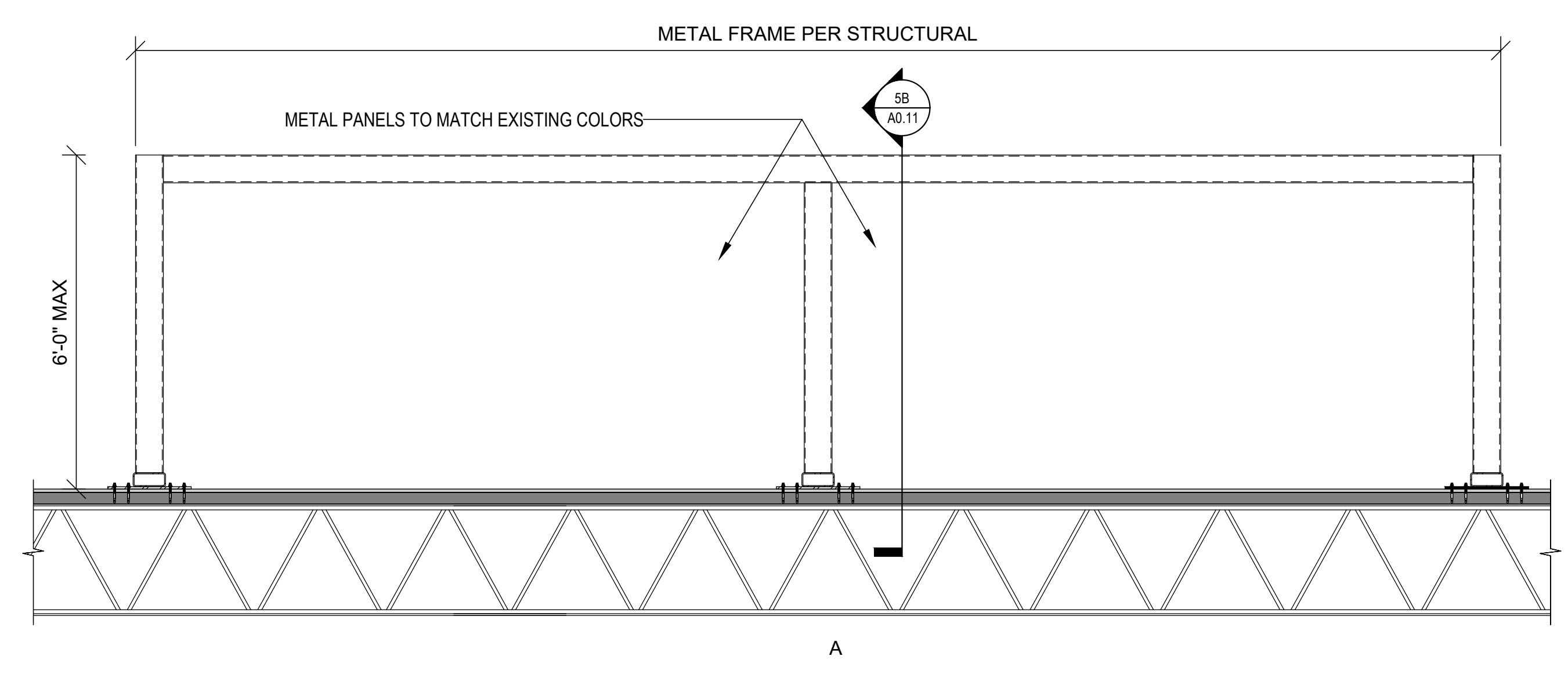
**2** 8 FOOT ILLUMINATED/NON ILLUMINATED MONUMENT SIGN (MS-3)  
SCALE: 1/4"=1'-0"



**3** PREFABRICATED RIDE-SHARE SHELTER PLAN AND ELEVATION  
SCALE: 1/2"=1'-0"



**4** PREFABRICATED SMOKER'S SHELTER PLAN AND ELEVATION  
SCALE: 1/2"=1'-0"



**5** SCREENING WALL ELEVATION AND DETAIL  
SCALE: 1/2"=1'-0"



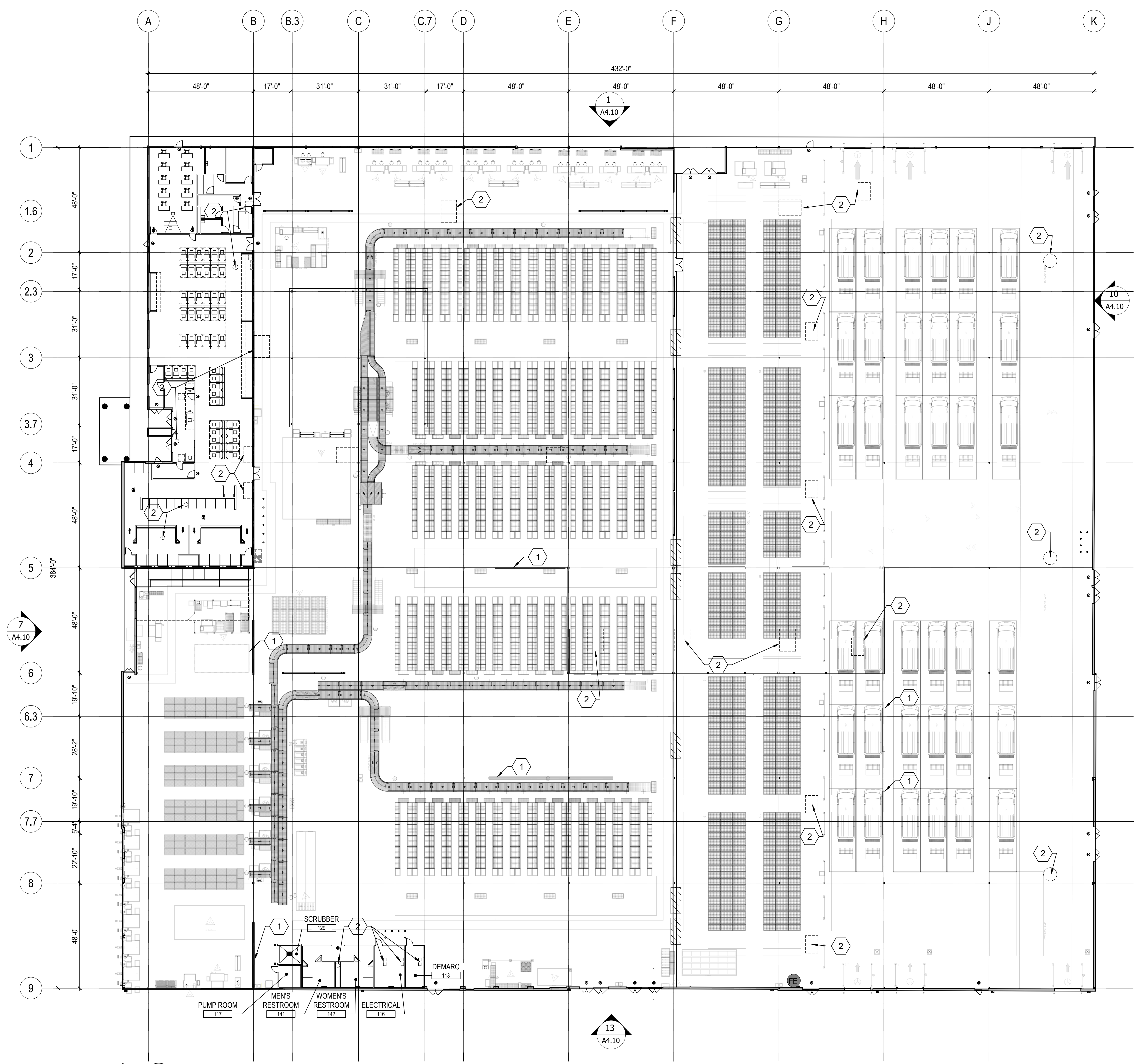
SITE ADDRESS	1200 E SAN BERNARDINO	
TOTAL SITE AREA	926,101 SF	20.51 AC
ZONING	Industrial	
PARCEL NUMBER	8434-015-018	
Adjacent to Residential    Adjacent to Nonresidential		
FRONT YARD SETBACK	30 FT	25 FT
SIDE YARD SETBACK	25 FT	5 FT
REAR YARD SETBACK	25 FT	12 FT
<b>REQUIRED PARKING</b>		
Office Occupancy	9,478 SF x 1 SPACE/300 SF = 32 SPACES	
Industrial Occupancy	159,840 SF x 1 SPACE/500 SF = 320 SPACES	
<b>TOTAL REQUIRED = 352 SPACES</b>		
<b>PARKING PROVIDED</b>		
9' x 18' (Associate Parking)	= 185 SPACES	
11' x 27' (Van Fleet Parking)	= 628 SPACES	
11' x 27' (Parallel Parking)	= 5 SPACES	
Accessible Stalls	= 8 SPACES (1 VAN)	
<b>TOTAL PROVIDED = 818 SPACES (8 ACCESSIBLE (1 VAN))*</b>		
*RIGHT (B) ACCESSIBLE SPACES REQUIRED (1 VAN) PER CALIFORNIA ACCESSIBILITY CODE TABLE 11B-208.2 FOR 301 TO 400 SPACES		
<b>SITE AREA (PRE-CONSTRUCTION)</b>		
BUILDING AREA	168,569 SF	18.2%
PAVEMENT AREA	625,068 SF	67.5%
GREEN SPACE AREA	132,464 SF	14.3%
<b>SITE AREA (POST CONSTRUCTION)</b>		
EXISTING BUILDING AREA	168,569 SF	18.2%
PAVEMENT AREA	634,165 SF	68.5%
GREEN SPACE AREA	123,367 SF	13.3%



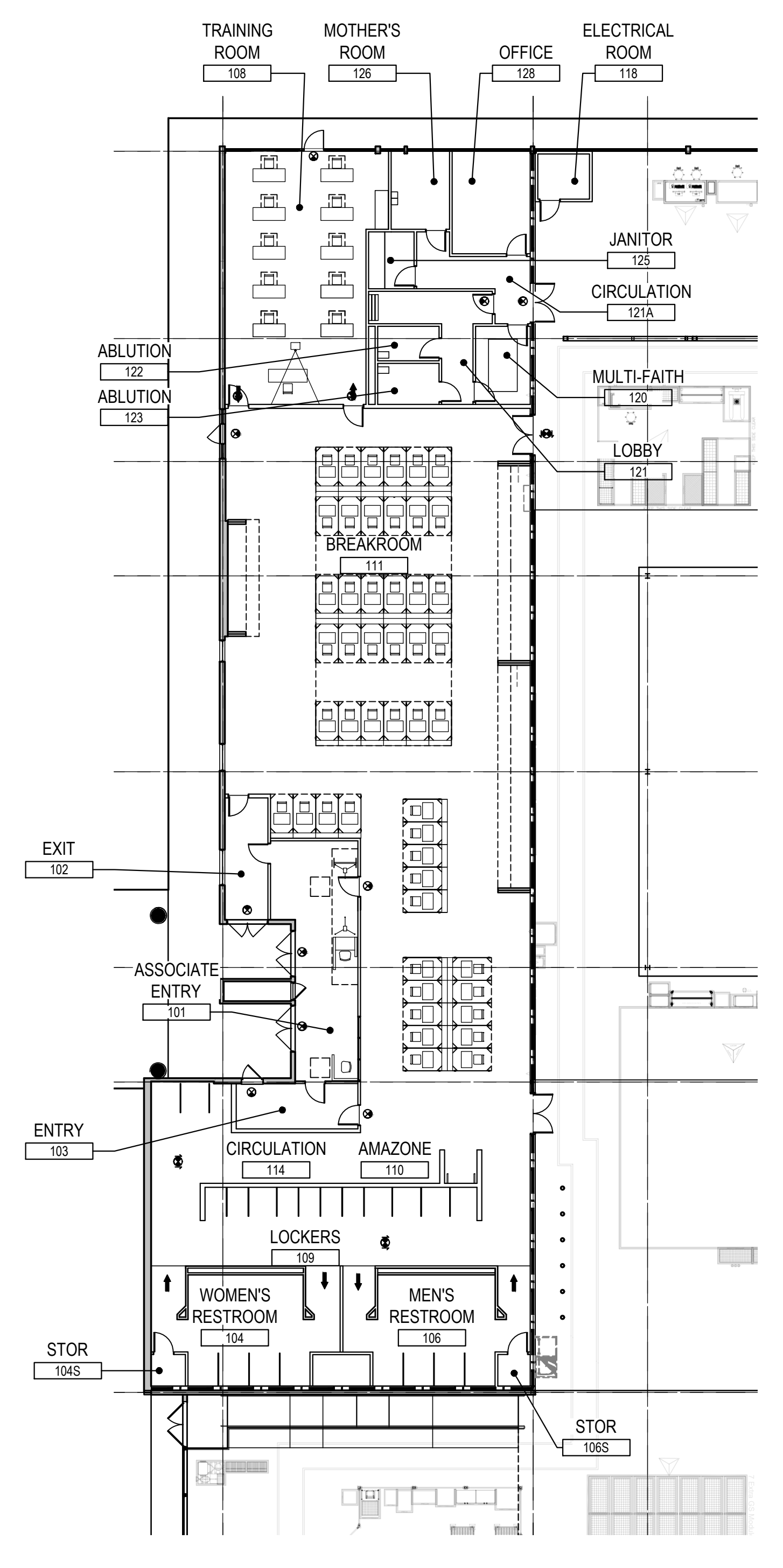
DAX9  
1200 E. SAN BERNARDINO ROAD,  
WEST COVINA, CA, 91790

**PLANNING PACKAGE**  
**WEST COVINA PARCEL DELIVERY STATION**  
 1200 E. SAN BERNARDINO ROAD  
 WEST COVINA, CA, 91790

DESCRIPTION	A	DATE
Planning Package		10.23.20
Planning Package		12.18.20
Planning Package		03.19.21
Planning Package		07.13.21



**1 FLOOR PLAN**  
SCALE: 1" = 20'-0"



**2 ENLARGED OFFICE FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**AREA DESCRIPTION**

**-AMAZON HUB:**  
THIS IS THE ONLY PORTION OF THE BUILDING THAT IS ACCESSED BY THE PUBLIC. GOAL OF SERVICE IS TO ISOLATE THE ESSENCE OF WHAT THE CUSTOMER NEEDS AND MAKE THAT AS PLEASANT AS POSSIBLE.

**-ASSOCIATE ENTRY:**  
IT IS CONSIDERED 'PUBLIC' SPACE FOR ACCESS TO THE MAIN OFFICE CORE.

**-BREAK ROOM:**  
VARIETY OF TABLE HEIGHTS AND TYPES. TABLE LAYOUT IS DYNAMIC AND VARIED. APPLIANCES AND WORK AREAS ARE DISTRIBUTED INTO MULTIPLE ZONES.

**THE DEMARCATION ROOM IS A CRITICAL COMPONENT OF THE IT INFRASTRUCTURE. EXISTING DEMARCATION ROOMS OR OTHER POINTS OF ENTRY FOR TELECOMMUNICATIONS INFRASTRUCTURE ARE UTILIZED WHEREVER POSSIBLE AND PORTIONS OF THIS SECTION SHOULD BE APPLIED BASED ON-SITE CONSTRUCTION.**

**-JANITOR ROOM**  
SERVICE ROOM STORAGE

**-LOCKERS**  
THIS SPACE IS COMMON ASSOCIATE FIRST STOP AT START/STOP/BREAK.

**-MOTHER'S ROOM :**  
A PRIVATE PLACE FOR ASSOCIATES TO GO FOR SHORT PERIODS OF TIME THROUGHOUT THE DAY.

**-MULTI-FAITH ROOM :**  
ROOM FUNCTION IS A PRIVATE PLACE FOR ASSOCIATES TO GO FOR SHORT PERIODS OF TIME THROUGHOUT THE DAY

**-ABLUTION ROOMS:**  
AT ALL SITES ARE WITH PLUMBING/MEP PROVIDED AND THE SPACE RESERVED. IDEAL ABLUTION PROVISION IS (2) FOOTBATH FIXTURES FOR WOMEN AND (2) FOOTBATH FIXTURES FOR MEN.

**-HR OFFICE:**  
FUNCTION IS EMPLOYEE PROBLEM SOLVING - NOT HIRING, CONFIDENTIALITY AND PRIVACY ARE VALUED.

**-TOILET ROOM:**  
ACCESSIBLE FROM BOTH BREAK AREA AND SORT FLOOR.

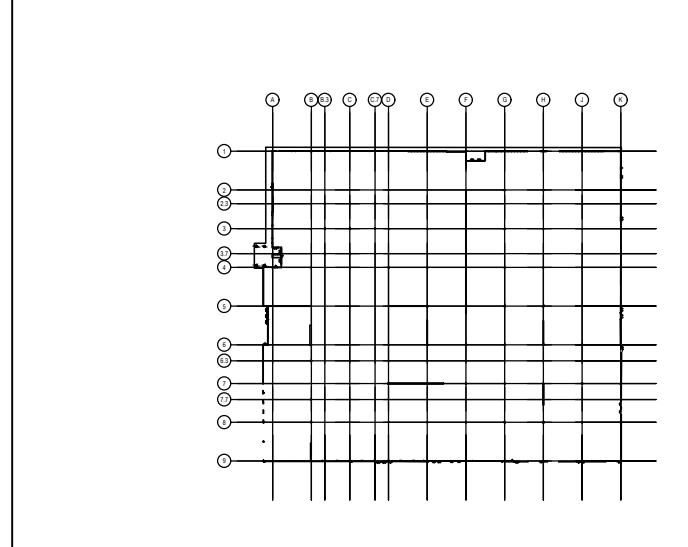
**-TRAINING ROOM :** DRIVER SAFETY, AND PROCESS TRAINING.

**KEYNOTES**

- EXISTING WALLS TO REMAIN
- PROPOSED ROOF TOP EQUIPMENT, REFER TO ELEVATIONS A4.10 AND A4.11

**LEGEND**

● SUGGESTED SURFACE-MOUNTED FIRE EXTINGUISHER LOCATIONS



**PROJECT STATUS**

JOB NUMBER	20-5517-01
DRAWN BY	SP
CHECKED BY	AD
SHEET TITLE	OVERALL FLOOR PLAN
SHEET NUMBER	A1.10





Planning Package	10.16.20
Planning Package	12.18.20
Planning Package	01.13.21
Planning Package	D 07.13.21

PROJECT STATUS

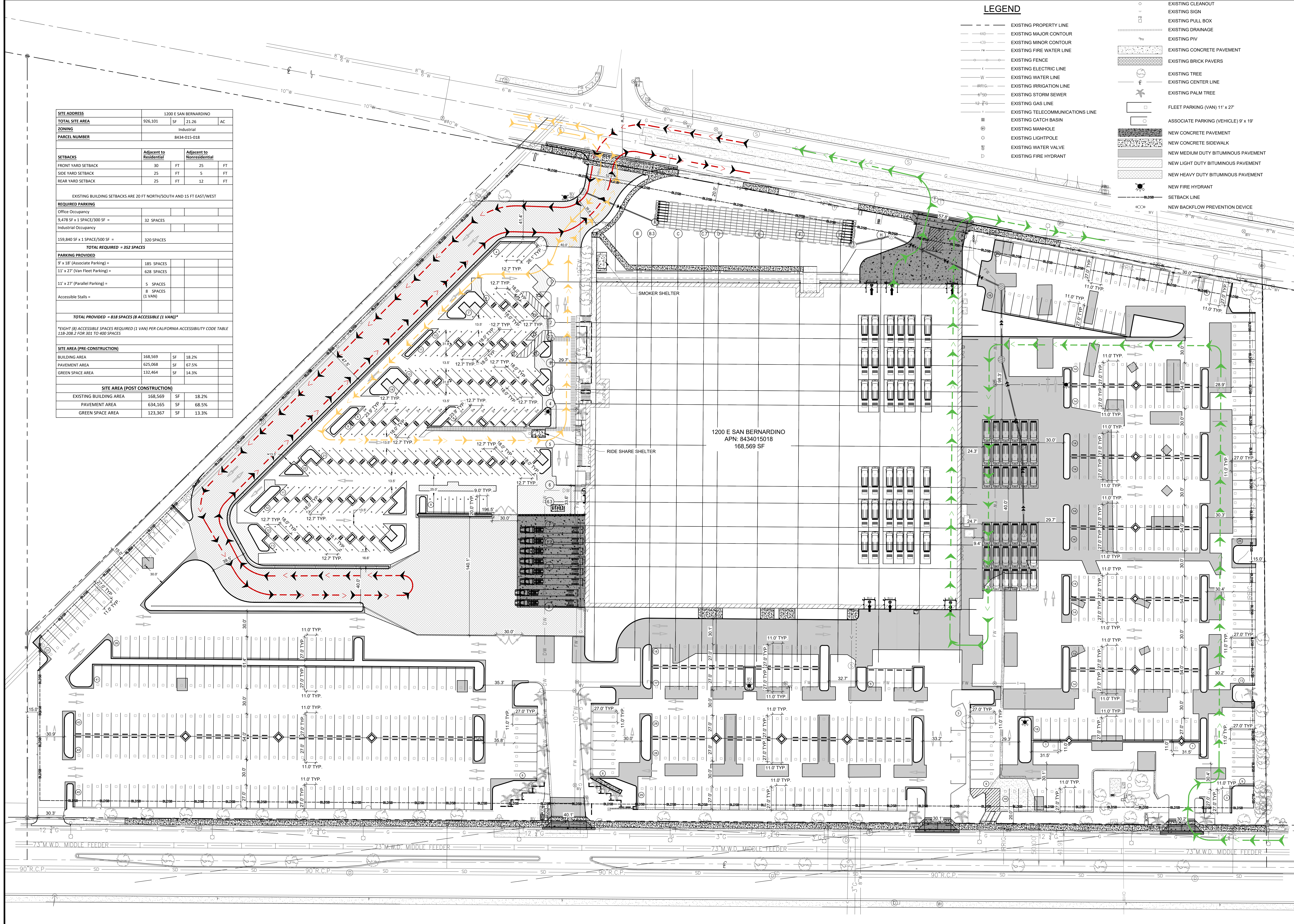
Site Plan	
JOB NUMBER	20-5517-01
DRAWN BY	JMS
CHECKED BY	MDW
SHEET TITLE	CIVIL SITE PLAN

SHEET NUMBER  
**C2.00**

**LEGEND**

- EXISTING PROPERTY LINE
  - - - EXISTING MAJOR CONTOUR
  - - - EXISTING MINOR CONTOUR
  - - - EXISTING FIRE WATER LINE
  - - - EXISTING FENCE
  - - - EXISTING ELECTRIC LINE
  - - - EXISTING WATER LINE
  - - - EXISTING IRRIGATION LINE
  - - - EXISTING STORM SEWER
  - - - EXISTING GAS LINE
  - - - EXISTING TELECOMMUNICATIONS LINE
  - - - EXISTING CATCH BASIN
  - - - EXISTING MANHOLE
  - - - EXISTING LIGHTPOLE
  - - - EXISTING WATER VALVE
  - - - EXISTING FIRE HYDRANT
- EXISTING CLEANOUT
  - EXISTING SIGN
  - EXISTING PULL BOX
  - EXISTING DRAINAGE
  - EXISTING PIV
  - EXISTING CONCRETE PAVEMENT
  - EXISTING BRICK PAVERS
  - EXISTING TREE
  - EXISTING CENTER LINE
  - EXISTING PALM TREE
  - FLEET PARKING (VAN) 11' x 27'
  - ASSOCIATE PARKING (VEHICLE) 9' x 19'
  - NEW CONCRETE PAVEMENT
  - NEW CONCRETE SIDEWALK
  - NEW MEDIUM DUTY BITUMINOUS PAVEMENT
  - NEW LIGHT DUTY BITUMINOUS PAVEMENT
  - NEW HEAVY DUTY BITUMINOUS PAVEMENT
  - NEW FIRE HYDRANT
  - SETBACK LINE
  - NEW BACKFLOW PREVENTION DEVICE

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<b>PARCEL NUMBER</b>	8434-015-018		
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FRONT YARD SETBACK	30 FT	25 FT	
SIDE YARD SETBACK	25 FT	5 FT	
REAR YARD SETBACK	25 FT	12 FT	
EXISTING BUILDING SETBACKS ARE 20 FT NORTH/SOUTH AND 15 FT EAST/WEST			
<b>REQUIRED PARKING</b>			
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NORTH  
1  
CONCEPTUAL SITE PLAN  
C2.00  
0 40' 80' 120' 1"=40'

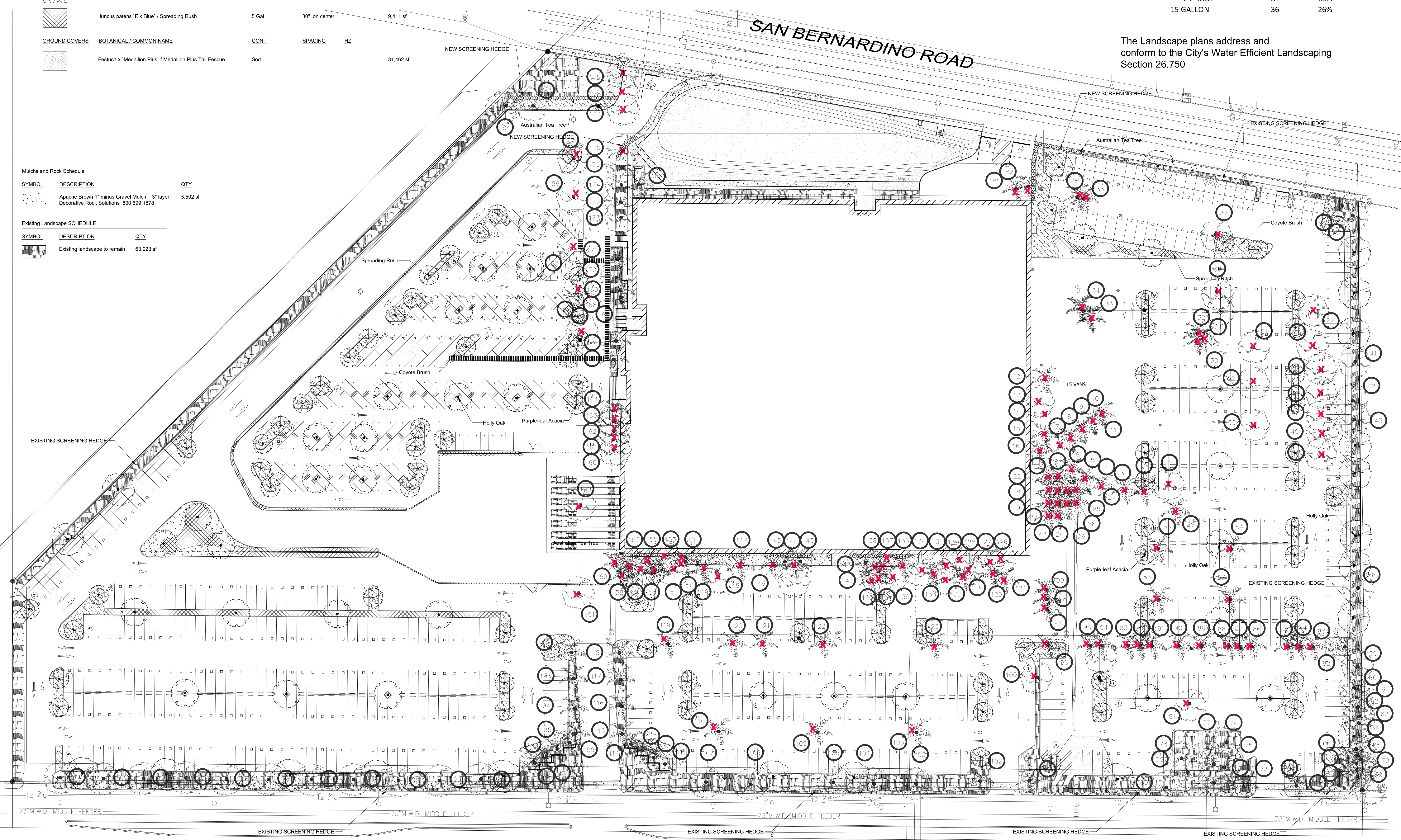
PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT. SIZE	CAL	PF	HZ	QTY
	Acacia baileyana 'Purpurea' / Purple-leaf Acacia	24" Box Standard		0.1-0.3	2	87
	Quercus ilex / Holly Oak	15 Gal Standard		0.1-0.3	2	36
	Quercus ilex / Holly Oak	36" Box		0.1-0.3	2	20
SHRUBS	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	HZ		
	Leptospermum laevigatum 'Compactum' / Australian Tea Tree	5 gal				132
SHRUB AREAS	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	HZ		
	Baccharis pilularis 'Pigeon Point' / Coyote Brush	5 gal	36" on center			31,219 sf
	Juncus patens 'Elk Blue' / Spreading Rush	5 Gal	30" on center			9,411 sf
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	HZ		
	Festuca x 'Medallion Plus' / Medallion Plus Tall Fescue	Sod				31,462 sf

SEE TREE REPORT BY CARLBERG ASSOCIATES DATED 11.06.20 FOR DISPOSITION OF EXISTING TREES. NUMBERS ON PLANS CORRESPOND TO THE TREE REPORT.

ORDINANCE 2472 COMPLIANCE MATRIX			
GROSS SITE AREA:	LANDSCAPE AREA REQUIRED (8%)	LANDSCAPE AREA PROVIDED	% LANDSCAPE AREA PROVIDED
893,348.00	71,467.84	137,656.00	15%
PARKING COUNT	TREES REQUIRED @ 1:4	TREES PROVIDED (inc. existing)	
814.00	204	230	
TREES SIZES	TREES QUANTITIES	% BY SIZE	
36" BOX	20	14%	
24" BOX	84	60%	
15 GALLON	36	26%	

The Landscape plans address and conform to the City's Water Efficient Landscaping Section 26.750

Mulches and Rock Schedule		
SYMBOL	DESCRIPTION	QTY
	Apache Brown 1" minus Gravel Mulch, 3" layer, Decorative Rock Solutions 800.699.1876	5,502 sf
Existing Landscape SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	Existing landscape to remain	63,923 sf



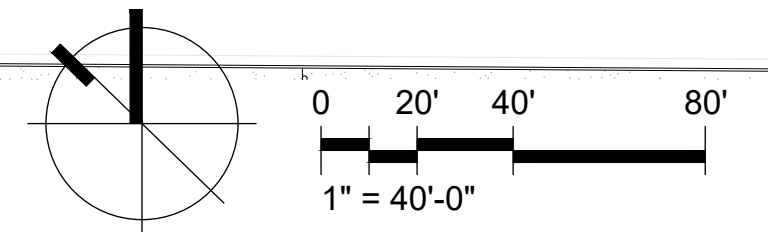
1200 E. SAN BERNARDINO ROAD, WEST COVINA, CA, 91790

PLANNING PACKAGE  
 WEST COVINA DISTRIBUTION CENTER  
 1200 E. SAN BERNARDINO ROAD  
 WEST COVINA, CA, 91790

DESCRIPTION	A	DATE
Planning Package		10.23.20
Planning Package		12.18.20
Planning Package		07.13.21

PROJECT STATUS  
 JOB NUMBER: 20-10209  
 DRAWN BY: [blank] CHECKED BY: [blank]

SHEET TITLE: OVERALL PLANTING PLAN  
 SHEET NUMBER: L1.00



PLOT STAMP - 27 February 2020

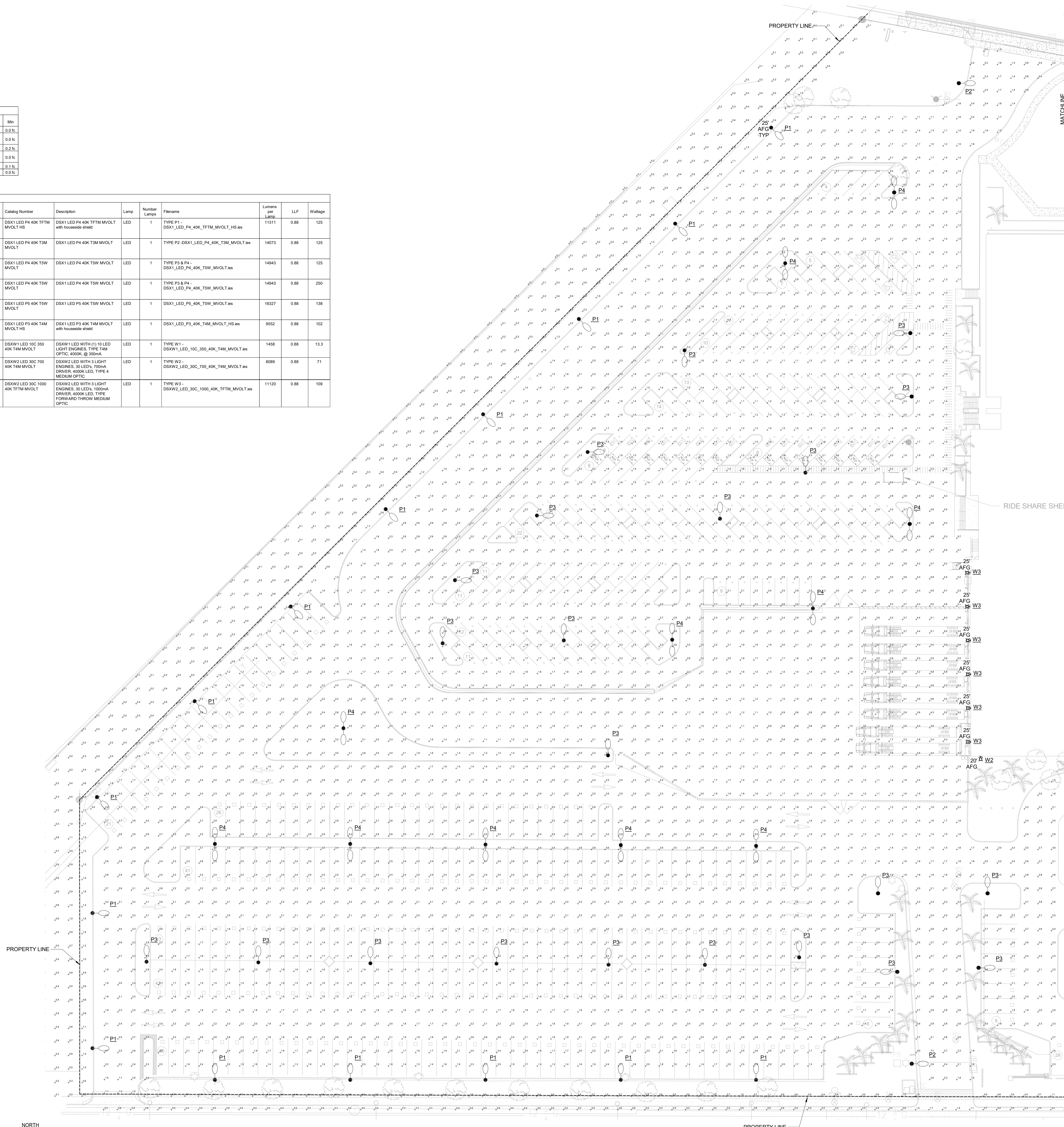






Statistics				
Description	Symbol	Avg	Max	Min
East Property Line	+	0.1c	0.5c	0.0c
North Property Line	+	0.3c	1.8c	0.0c
Parking Lot	+	2.0c	6.0c	0.2c
South Property Line	+	0.4c	1.9c	0.0c
West Property Line	+	0.4c	2.8c	0.1c
North End	+	2.4c	5.5c	0.5c

Schedule										
Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
P1	Lithonia Lighting	Lithonia Lighting	DSX1 LED P4 40K TFM MVOLT HS	DSX1 LED P4 40K TFM MVOLT with focussable shade	LED	1	TYPE P1 - DSX1_LED_P4_40K_TFM_MVOLT_HS.ies	11311	0.88	125
P2	Lithonia Lighting	Lithonia Lighting	DSX1 LED P4 40K T3M MVOLT	DSX1 LED P4 40K T3M MVOLT	LED	1	TYPE P2 - DSX1_LED_P4_40K_T3M_MVOLT.ies	14073	0.88	125
P3	Lithonia Lighting	Lithonia Lighting	DSX1 LED P4 40K T5W MVOLT	DSX1 LED P4 40K T5W MVOLT	LED	1	TYPE P3 & P4 - DSX1_LED_P4_40K_T5W_MVOLT.ies	14943	0.88	125
P4	Lithonia Lighting	Lithonia Lighting	DSX1 LED P4 40K T5W MVOLT	DSX1 LED P4 40K T5W MVOLT	LED	1	TYPE P3 & P4 - DSX1_LED_P4_40K_T5W_MVOLT.ies	14943	0.88	250
P5	Lithonia Lighting	Lithonia Lighting	DSX1 LED P5 40K T5W MVOLT	DSX1 LED P5 40K T5W MVOLT	LED	1	DSX1_LED_P5_40K_T5W_MVOLT.ies	16327	0.88	138
P6	Lithonia Lighting	Lithonia Lighting	DSX1 LED P3 40K T4M MVOLT HS	DSX1 LED P3 40K T4M MVOLT with focussable shade	LED	1	DSX1_LED_P3_40K_T4M_MVOLT_HS.ies	9552	0.88	102
W1	Lithonia Lighting	Lithonia Lighting	DSXW1 LED 10C 350 40K T4M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K @ 350mA	LED	1	TYPE W1 - DSXW1_LED_10C_350_40K_T4M_MVOLT.ies	1458	0.88	13.3
W2	Lithonia Lighting	Lithonia Lighting	DSXW2 LED 30C 700 40K T4M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED's, 700mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	LED	1	TYPE W2 - DSXW2_LED_30C_700_40K_T4M_MVOLT.ies	8059	0.88	71
W3	Lithonia Lighting	Lithonia Lighting	DSXW3 LED 30C 1000 40K TFM MVOLT	DSXW3 LED WITH 3 LIGHT ENGINES, 30 LED's, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	LED	1	TYPE W3 - DSXW3_LED_30C_1000_40K_TFM_MVOLT.ies	11120	0.88	109



**GENERAL NOTES:**

A. THE ELECTRICAL EQUIPMENT SHOWN ON THIS SHEET IS DIAGRAMMATICAL IN NATURE AND REPRESENTS APPROXIMATE LOCATIONS IN OR ON SPACE/ROOM/AREA OR EQUIPMENT. CONTRACTOR TO VERIFY THE EXACT LOCATION AND COORDINATE WITH NECESSARY TRADES.

B. ALL POLE MOUNT LIGHTS SHOWN SHALL BE MOUNTED 25 FEET AFG.

C. ALL THE LIGHT FIXTURES SHOWN ON THIS DRAWING SHALL BE INSTALLED NEW. EXISTING SITE LIGHTING TO BE DEMOLISHED.

**VAA**

VAA ENG CORPORATION  
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763.559.9100  
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DATE: 10/16/20  
DRAWN BY: CTM  
CHECKED BY: DRS

DAX9

1200 E. SAN BERNARDINO ROAD  
WEST COVINA, CA 91790

**PLANNING PACKAGE  
WEST COVINA PARCEL DELIVERY STATION**

1200 E. SAN BERNARDINO ROAD  
WEST COVINA, CA 91790

REVISION	A	DATE
PLANNING PACKAGE	B	10/16/20
PLANNING PACKAGE	C	12/18/20
PLANNING PACKAGE	D	07/13/21

**NOT FOR  
CONSTRUCTION**

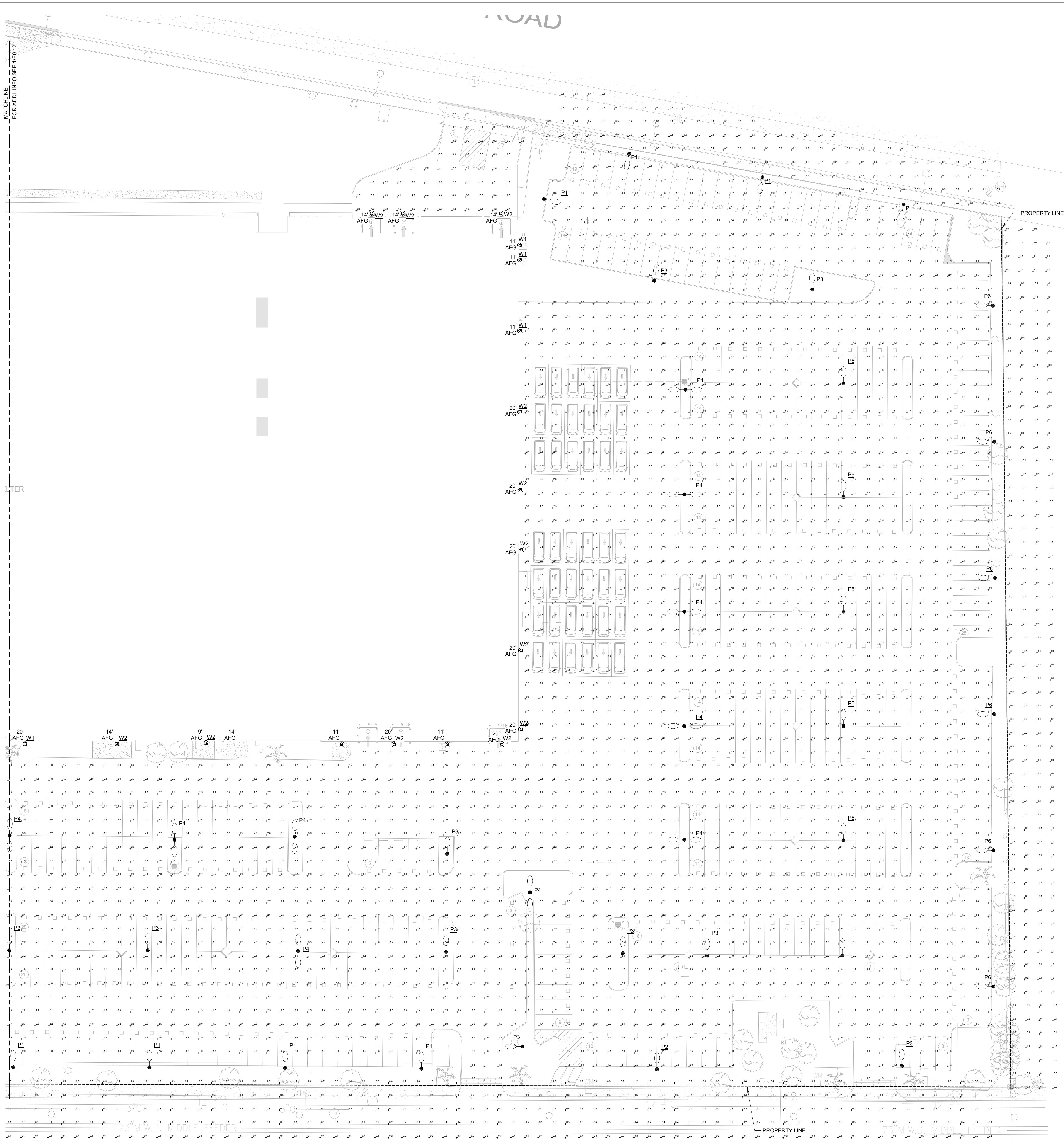
JOB NUMBER  
205001

DRAWN BY  
CTM

CHECKED BY  
DRS

SHEET TITLE  
ENLARGED SITE PLAN -  
PHOTOMETRICS

SHEET NUMBER  
**E0.12**



**GENERAL NOTES:**  
 A. THE ELECTRICAL EQUIPMENT SHOWN ON THIS SHEET IS DIAGRAMMATICAL IN NATURE AND REPRESENTS APPROXIMATE LOCATIONS IN OR ON SPACE/ROOM/AREA OR EQUIPMENT. CONTRACTOR TO VERIFY THE EXACT LOCATION AND COORDINATE WITH NECESSARY TRADES.  
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1200 E. SAN BERNARDINO ROAD  
 WEST COVINA, CA 91790

**PLANNING PACKAGE**  
**WEST COVINA PARCEL DELIVERY STATION**  
 1200 E. SAN BERNARDINO ROAD  
 WEST COVINA, CA 91790

**Statistics**

Description	Symbol	Avg	Max	Min
East Property Line	+	0.1 ft	0.5 ft	0.0 ft
North Property Line	+	0.3 ft	1.6 ft	0.0 ft
Parking Lot	+	2.0 ft	6.0 ft	0.2 ft
South Property Line	+	0.4 ft	1.9 ft	0.0 ft
West Property Line	+	0.4 ft	2.6 ft	0.1 ft
North End	+	2.4 ft	6.5 ft	0.0 ft

**Schedule**

Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
P1	P1	Lithonia Lighting	DSX1 LED P4 40K TFTM MVOLT HS	DSX1 LED P4 40K TFTM MVOLT with houseste shield	LED	1	TYPE P1 - DSX1_LED_P4_40K_TFTM_MVOLT_HS.ies	11311	0.88	125
P2	P2	Lithonia Lighting	DSX1 LED P4 40K T3M MVOLT	DSX1 LED P4 40K T3M MVOLT	LED	1	TYPE P2 - DSX1_LED_P4_40K_T3M_MVOLT.ies	14075	0.88	125
P3	P3	Lithonia Lighting	DSX1 LED P4 40K T5W MVOLT	DSX1 LED P4 40K T5W MVOLT	LED	1	TYPE P3 & P4 - DSX1_LED_P4_40K_T5W_MVOLT.ies	14943	0.88	125
P4	P4	Lithonia Lighting	DSX1 LED P4 40K T5W MVOLT	DSX1 LED P4 40K T5W MVOLT	LED	1	TYPE P3 & P4 - DSX1_LED_P4_40K_T5W_MVOLT.ies	14943	0.88	250
P5	P5	Lithonia Lighting	DSX1 LED P5 40K T5W MVOLT	DSX1 LED P5 40K T5W MVOLT	LED	1	DSX1_LED_P5_40K_T5W_MVOLT.ies	16327	0.88	138
P6	P6	Lithonia Lighting	DSX1 LED P3 40K T4M MVOLT HS	DSX1 LED P3 40K T4M MVOLT with houseste shield	LED	1	DSX1_LED_P3_40K_T4M_MVOLT_HS.ies	9502	0.88	102
W1	W1	Lithonia Lighting	DSXW1 LED 10C 350 40K T4M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 350mA.	LED	1	TYPE W1 - DSXW1_LED_10C_350_40K_T4M_MVOLT.ies	1456	0.88	13.3
W2	W2	Lithonia Lighting	DSXW2 LED 30C 700 40K T4M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED, 700mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC.	LED	1	TYPE W2 - DSXW2_LED_30C_700_40K_T4M_MVOLT.ies	8089	0.88	71
W3	W3	Lithonia Lighting	DSXW2 LED 30C 1000 40K TFTM MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED, 1000mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC.	LED	1	TYPE W3 - DSXW2_LED_30C_1000_40K_TFTM_MVOLT.ies	11120	0.88	109

**REVISION**

REVISION	DATE
PLANNING PACKAGE A	10/16/20
PLANNING PACKAGE B	12/18/20
PLANNING PACKAGE C	07/13/21

**NOT FOR CONSTRUCTION**

JOB NUMBER  
205001  
 DRAWN BY  
CTM  
 CHECKED BY  
DAN  
 SHEET TITLE  
ENLARGED SITE PLAN - PHOTOMETRICS