



The Grove at Merced Specific Plan

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TABLE OF CONTENTS

Chapter 1 Introduction

1.1 Overview	1-1
1.2 History and Background	1-1
Figure 1.1: Vicinity Map	1-2
1.3 Location and Setting	1-2
Figure 1.2: Local Context Map	1-3
1.4 Goals and Objectives	1-4
1.5 Authority and Scope	1-4
1.6 California Environmental Quality Act (CEQA) Compliance.....	1-5

Chapter 2 Land Use

2.1 Introduction.....	2-1
2.2 General Plan Consistency	2-1
Figure 2.1: Existing Land Use	2-2
Figure 2.2: Proposed Land Use	2-2
2.3 Zoning Consistency	2-3
Figure 2.3: Existing Zoning (R-1)	2-3
Figure 2.4: Proposed Zoning (S-P).....	2-3

Chapter 3 Standards and Guidelines

3.1 Introduction.....	3-1
3.2 Applicability	3-2
3.3 Severability	3-2
3.4 Permitted Land Uses.....	3-3
3.5 Determination of Unlisted Use	3-4
3.6 Development Standards.....	3-4
Table 3.1: Development Standards.....	3-5
3.7 Architectural Design Guidelines	3-6

3.8 Scale, Massing, and Articulation	3-6
3.9 Functional Elements	3-10
3.10 Trash.....	3-10
3.11 Elevations and Color Application.....	3-11
3.12 Architectural Styles	3-11
3.12.1 Spanish	3-12
Table 3.2: Spanish Elements	3-13
3.12.2 Bungalow	3-14
Table 3.3: Bungalow Elements.....	3-15
3.12.3 Farmhouse	3-16
Table 3.4: Farmhouse Elements	3-17
3.12.4 Traditional.....	3-18
Table 3.5: Traditional Elements.....	3-19
3.13 Landscape Design	3-20
Figure 3.1: Conceptual Landscape Plan	3-20
3.14 Walls and Fences	3-21
Figure 3.2: Conceptual Wall and Fence Plan.....	3-21

Chapter 4 Circulation

4.1 General Infrastructure Plan.....	4-1
4.2 Circulation.....	4-2
4.3 Grading	4-2
4.4 Standard Urban Stormwater Mitigation Plan	4-2
4.5 Storm Drain Plan.....	4-2
Figure 4.1: Conceptual Grading Plan	4-3
4.6.Sewer Plan.....	4-4
4.7 Water Plan.....	4-4
4.8 Utilities.....	4-4
Figure 4.2: Conceptual Utility Plan.....	4-5
4.9 Public Services	4-6

TABLE OF CONTENTS

Chapter 5 Infrastructure

5.1 Implementation.....	5-1
5.2 Administration	5-2

Chapter 6 Implementation and Administration

6.1 Introduction.....	6-1
6.2 Our Natural Community	6-2
6.3 Our Prosperous Community	6-3
6.4 Our Well Planned Community	6-4
6.5 Our Accessible Community	6-4
6.6 Our Resilient Community.....	6-4
6.7 Our Healthy and Safe Community	6-6
6.8 Our Active Community	6-7

CHAPTER 01

INTRODUCTION

1.1 OVERVIEW

The Grove at Merced Specific Plan is a 2.26-acre planned residential community offering new housing opportunities for residents of West Covina.

The purpose of The Grove at Merced Specific Plan is to ensure compatibility of the project with the existing surrounding uses and propose a high-quality residential community within the City. Future development shall be consistent with the Specific Plan regulations for land use, design standards, infrastructure, utilities, and public services. Subsequent construction of the proposed residential uses shall be consistent with the current California Building Code (CBC).

1.2 HISTORY AND BACKGROUND

The City of West Covina was incorporated in 1923 to prevent the City of Covina from establishing a sewage farm within the current city boundaries.

Walnut groves and orange groves continued to flourish during the following decades. The population in 1930 was 769 and blossomed to 1,549 in 1940. As a result of remarkable expansion during the post World War II building boom, West Covina became America's fastest growing city between 1950 and 1960, with the population increasing 1,000% from less than 5,000 to more than 50,000 citizens. Population has continued to grow, with over 92,000 residents according to the 1990 Census.

City Hall and the Police facility were built in 1969 as the first phase of an example of a Joint Powers Authority in the County of Los Angeles. The Civic Center Joint Powers Authority, consisting of the County of Los Angeles and the City of West Covina, also completed a three-level parking structure in the Civic Center complex. The Civic Center complex includes the Los Angeles County Regional Library, the Citrus Municipal Court building, and the City offices.

INTRODUCTION

Other major developments have been built through that last few decades including “The Lakes,” the Sportsplex Project (The Heights Shopping Center and Big League Dreams Sports Park) in addition to two new community shopping centers, freestanding retail developments, restaurants, residential projects, and the Auto Plaza.

West Covina welcomes continued growth to service the City’s population, implementing strategies for new residential and commercial development.

1.3 LOCATION AND SETTING

The City of West Covina has a total area of 16.04 square miles. Approximately 20 miles east of the City of Los Angeles, West Covina is located in the San Gabriel Valley. The City is bounded by the Cities of Covina and Azusa to the northeast, Baldwin Park and Irwindale to the northwest, La Puente and Valinda to the southwest, Industry to the south, and Walnut to the southeast. Figure 1.1: Vicinity Map and Figure 1.2: Local Context Map illustrates the location of the study area within the City.

The Specific Plan area is bounded by Merced Avenue on the northeast, Van Horn Avenue to the northwest, and Walnut Creek Wash to the south. The subject area is a one triangle shaped parcel.

The existing uses adjacent to the Specific Plan are:
North: Single-family residential neighborhoods.

East: Single-family residential neighborhoods and Edgewood High School.

South: The Walnut Creek Channel, The Masonic Lodge, The Church of Jesus Christ of Latter-day Saints, and the Hurst Ranch Historical Center.

West: Single-family residential neighborhoods.

Land within the Specific Plan area was historically zoned for low density residential. However, as time goes on and cities mature, areas have to be energized and given new opportunity to redevelop and revitalize underutilized parcels. Therefore, the Specific Plan is proposing to modify the zoning and land use designations to permit higher density housing typologies to address continual market demand.

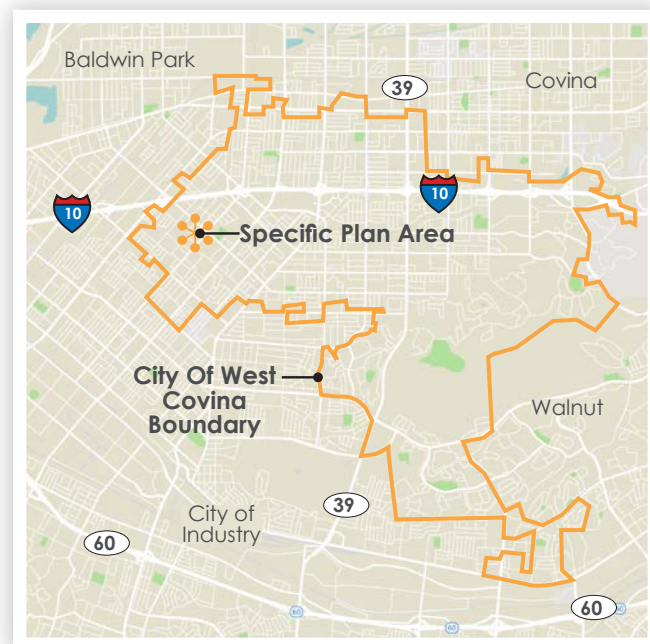
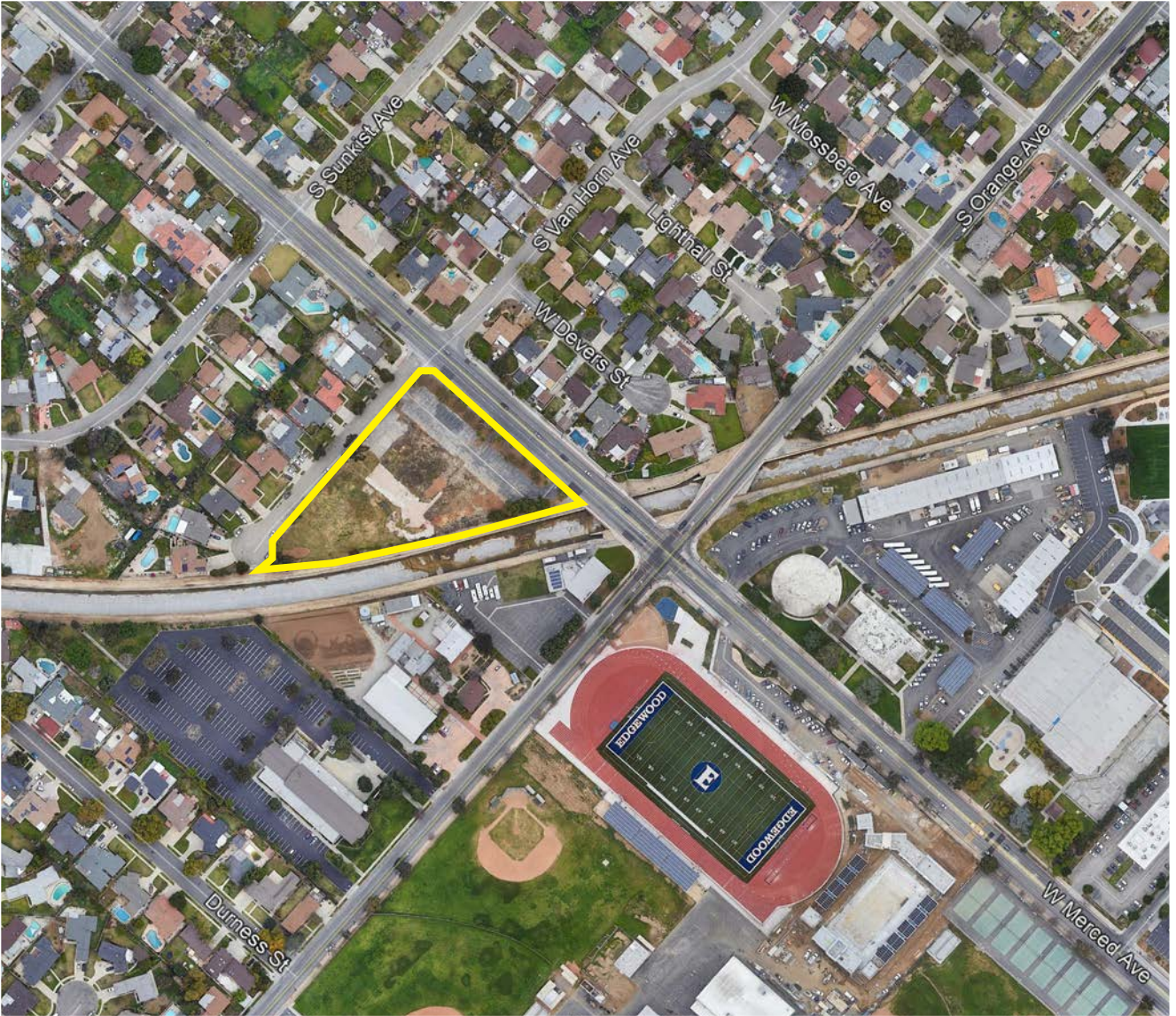


Figure 1.1: Vicinity Map



— Specific Plan Boundary



Figure 1.2: Local Context Map

INTRODUCTION

1.4 GOALS AND OBJECTIVES

The Specific Plan will:

- Provide flexibility for future development.
- Provide housing opportunities responsive to the needs of the community.
- Encourage revitalization of an underutilized site through pragmatic and progressive development standards.
- Create a cohesive enclave through organized architectural and landscape design.
- Encourage high quality design and sustainable building through design and construction methods and practices.

Implementation of this Specific Plan provides the parameters for desirable, infill development. The Specific Plan coordinates the land use, intensity, and scale of development with the goals and policies of the West Covina General Plan.

1.5 AUTHORITY AND SCOPE

The Specific Plan is adopted pursuant to Government Code §§65450 and 65457. The Government Code authorizes cities to adopt specific plans by resolution or ordinance.

A Specific Plan, as the name implies, is designed to address site-specific issues and to create a bridge between the City's General Plan and a specific development proposal. While a general plan examines an entire city or county, a specific plan concentrates on the individual development issues of a particular project or region.

This Specific Plan is intended to provide both policy and regulatory direction to guide the development of the site. Upon adoption by ordinance, the Specific Plan will serve as zoning for the property involved.

Government Code establishes the minimum requirements and review procedures for specific plans, requiring that a specific plan include text and diagrams that specify all of the following:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will be provided, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the project.

A specific plan is a legislative planning tool, regulatory in nature, and serves as the zoning for the property involved. Development plans, site plans, and tentative tract/parcel maps must be consistent with both the Specific Plan and the City's General Plan.

1.6 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

A Mitigated Negative Declaration (MND) was prepared for this Specific Plan in accordance with CEQA. The MND identifies potential impacts resulting from the proposed development and establishes standard conditions and mitigation measures that reduce them to a less than significant level, where feasible.

All subsequent approvals to develop the property must be consistent with the Specific Plan and associated environmental documents. Additional environmental documentation may be required in the future if significant changes are found to have occurred pursuant to Section 15162 and 15182 of the CEQA guidelines.

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2.1 INTRODUCTION

The land use program consists of residential components. The Specific Plan permits both detached and attached single-family residential dwelling units. The site may contain either all detached, all attached, or a combination of both.

2.2 GENERAL PLAN CONSISTENCY

The West Covina General Plan is a document designed to guide the growth and development of West Covina. The document provides goals and polices which will assist the City in achieving its economic and community development objectives. The General Plan describes West Covina's goals and strategies regarding Conservation and Open Space, Parks and Recreation, Economic Development, Land Use, Housing, Circulation, and Culture.

California law requires cities to adopt a General Plan that provides the policy framework for the long-term physical development of the community. The General Plan expresses the Community's development goals, and provides specific public policy relative to the public and private uses of land in the community.









LAND USE

The General Plan links community values, visions, and objectives to the utilization of public and private land and other community resources. The General Plan is comprehensive and long-term; it provides primary guidance for specific projects, policy actions, or programs that may occur in the future.

The Specific Plan area has an existing General Plan Land Use of Neighborhood Low. Adoption of the Specific Plan requires a concurrent adoption of a General Plan Land Use amendment to the Neighborhood Medium land use designation, allowing densities between 9 and 20 dwelling units per acre.

Refer to Figure 2.1: Existing Land Use and Figure 2.2: Proposed Land Use.

Legend

 Neighborhood Low upto 8 units/acre	 Parks and Open Spaces
 Neighborhood Medium 9 to 20 units/acre	 Civic: Schools
 Neighborhood High 21 to 54 units/acre	 Civic: Public & Institutional
 Commercial	
 Industrial	

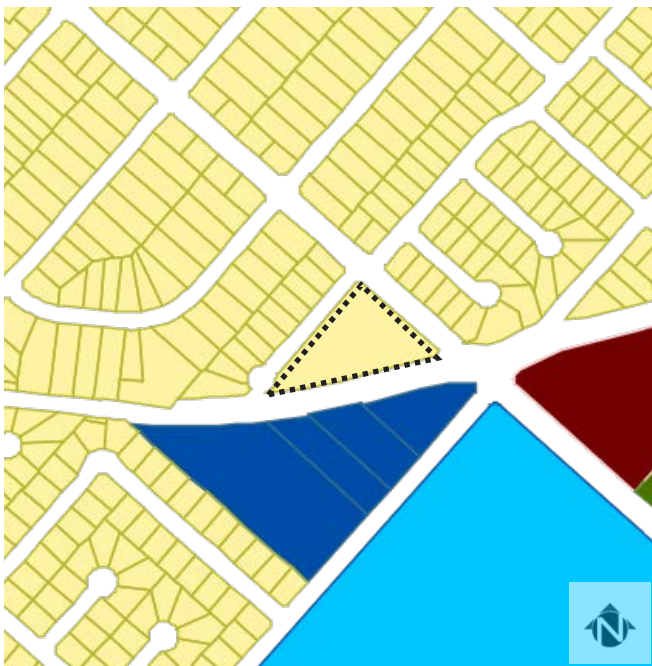


Figure 2.1: Existing Land Use

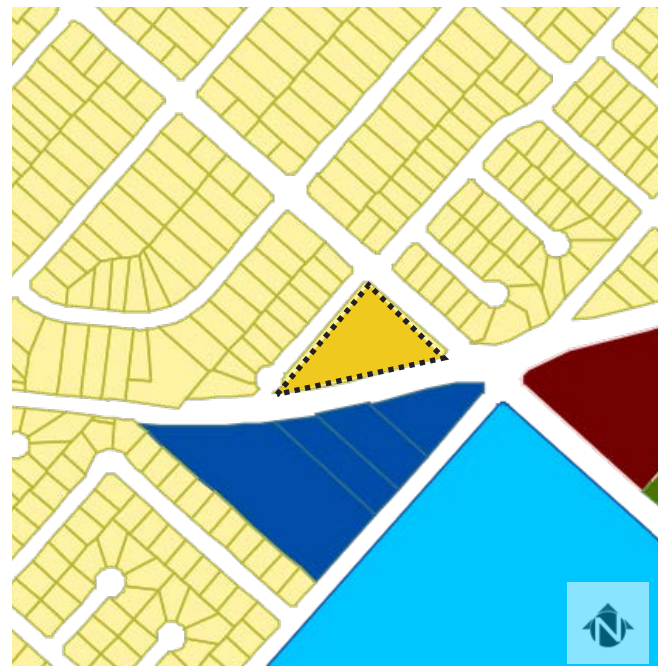


Figure 2.2: Proposed Land Use

2.3 ZONING CONSISTENCY

This Specific Plan seeks to amend the project area zoning designation to be more flexible for future development.

The Specific Plan use is anticipated to be residential. The site is currently zoned R-1 - Residential Single-Family. In order to accommodate more progressive housing typologies, the proposed Specific Plan is requesting a zone change to Specific Plan (S-P).

The Specific Plan (S-P) Zone is established to provide greater specificity and flexibility in carrying out the

General Plan of the City than would be possible in other zoning districts. This zoning district is intended for areas that are subject to specific plan adopted under Article 8 of Chapter 3 of Title 7 of the Government Code (sections 65450 et seq.). The uses, types of development and development standards in an area zoned specific plan are those permitted by the specific plan adopted for that area. Each separate specific plan district and its accompanying specific plan shall be sequentially numbered. If land is placed in the specific plan district before a specific plan is adopted for that land, the standards of the immediately preceding zone shall continue to apply until a specific plan is adopted.

Refer to Figure 2.3: Existing Zoning (R-1) and Figure 2.4: Proposed Zoning (S-P).

Legend

- R-A: Residential Agriculture
- R-1: Residential Single Family
- O-S: Open Space
- S-P: Specific Plan

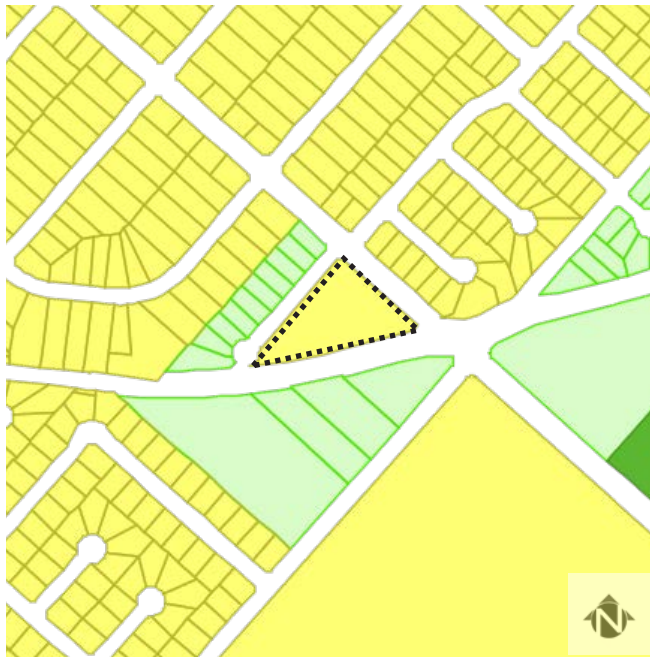


Figure 2.3: Existing Zoning (R-1)

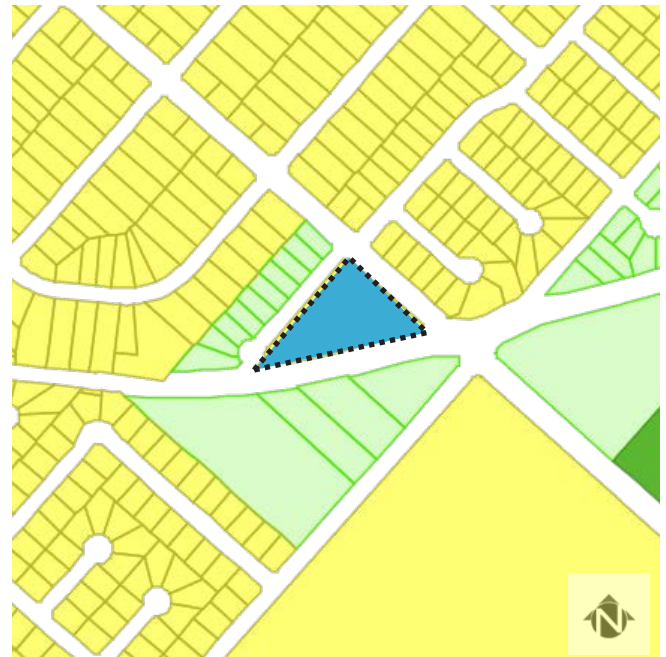


Figure 2.4: Proposed Zoning (S-P)

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CHAPTER 03

DESIGN STANDARDS & GUIDELINES

3.1 INTRODUCTION

This chapter provides standards and guidelines for development and design of this Specific Plan area. The purpose of these standards and guidelines is to implement a high-quality of development.

These standards and guidelines apply to the residential vision of this Specific Plan and supplement other applicable regulations in the City's Zoning Code.

The standards are minimum or maximum criteria, meant to provide development direction. The Municipal Code shall regulate development in Specific Plan Area, except as modified by the regulations contained herein. In such cases where the Specific Plan development regulations conflict with Chapter 26 of the West Covina Municipal Code, the Specific Plan development standards shall apply. Any future amendments to the City of West Covina Municipal Code, which are not addressed by this Specific Plan, shall also apply to the Specific Plan area, as appropriate.

The guidelines provided within this Chapter are a design framework for the landscape and buildings to convey an aesthetically interesting community identity within an infill setting. The guidelines are intended to be flexible, promoting engaging aesthetics without limiting the product type or configuration of the built environment to allow for the greatest adaptability to market changes.

The built environment shall exhibit design quality, including consideration of articulated entries and facades, proportionate windows, and quality building materials. Additionally, pedestrian connectivity and safety in the public realm shall be considered when creating the built environment.

The following guidelines have been written to guide builders and architects in creating architecture which is consistent with the envisioned community. While many examples are provided, they do not serve as an exhaustive list of design solutions.

3.2 APPLICABILITY

The Grove at Merced Specific Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. California Government Code, Section 65454 requires that a Specific Plan be consistent with the General Plan.

Upon adoption, actions deemed to be consistent with The Grove at Merced Specific Plan shall be judged to be consistent with the City of West Covina General Plan. Where conflicts exist between the standards contained in this Specific Plan and those found in the City of West Covina Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence. Any area of

site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document shall be subject to the provisions of the City of West Covina Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

3.3 SEVERABILITY

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

3.4 PERMITTED LAND USES

No building or improvement or portion thereof shall be erected, constructed, converted, established, altered, or enlarged, nor shall any lot or premises be used except for one (1) or more of the following purposes:

- One (1) single-family dwelling per lot. Any additions or accessory buildings shall maintain architectural consistency with the house regarding roof profile and pitch, materials, colors, roofing, scale, exterior treatment and details.
- Accessory buildings. Accessory dwelling units as allowed per article XII, division 11 (26-685.30 et seq.).
- Non-habitable Accessory buildings or structures, including, but not limited to the following:
 - Garages;
 - Carports;
 - Workshops;
 - Storage rooms or sheds;
 - Detached patio covers;
 - Pool bathroom.

All non-habitable accessory buildings of more than one hundred twenty (120) square feet shall file a covenant defining the use of the accessory building and stating that the building shall not be converted to any other use without city approval including an accessory dwelling unit.

- Single-family condominium dwellings (MF-8 only).
- For the purpose of this chapter, stock cooperatives and community apartments shall be treated as condominiums.

- Multiple-family and single-family condominium dwellings. (MF-15, MF-20 and MF-45 only).
- Household pets: Provided that no more than three (3) adult dogs or four (4) adult cats, or a combination of three (3) such animals, may be kept in any dwelling unit at any one time.
 - (1) Notwithstanding the household pets permitted to be kept as set forth above, no wild and dangerous or wild and potentially dangerous animal or animals, (as defined in Section 6-1 of the WEMC) shall be brought into, kept, harbored, possessed, liberated, or maintained on any portion of any lot or within any building or structure thereon.
 - This prohibition shall not apply to any offspring of any legally kept wild animal until such offspring reaches the age of four (4) months.
 - This prohibition shall not apply to any circus or show involving the temporary exhibition of wild animals when otherwise permitted under this Code.
- Home occupations as set forth in Chapter 26, Article XII, Division 5 of the WCMC.

3.5 DETERMINATION OF UNLISTED USE

Any Land use not specifically covered by the provisions contained herein shall be subject to Section 26-504 of the City of West Covina Zoning Ordinance.

3.6 DEVELOPMENT STANDARDS

The following development standards shall apply to the overall development within the Specific Plan area. The development standards are intended to establish the minimum design parameters. The Specific Plan allows for medium density single family and multifamily residential. The allowable density shall be between 9 and 20 units per acre.

Any situation not specifically addressed by the Grove at Merced Specific Plan shall be subject to the WCMC, provided that such regulations are not in conflict with the objectives of this specific plan.

Table 3.1 outlines the applicable development standards for both detached and attached housing typologies.

Table 3.1: Development Standards	
Element	Standard
Minimum Building Setbacks	
Front to Front (Living Area to Living Area)	20' (architectural projections may encroach 3')
Front to Street (Building to Private Street/Drive)	8'
Side to Street (Building to Private Street/Drive)	6'
Building Separation (except front to front as stated above)	10' (or as required by the California Building Code, CBC)
Rear Yard (Building to Property Line)	N/A
Garage Door to Private Street/Drive	3'
Garage Door to Garage Door	30'
Minimum Perimeter Setbacks	
Merced Avenue	15'
Van Horn Avenue	15'
LACFCD	10'
Other	
Ground Coverage	75% (including circulation network and driveway aprons)
Building Height (Maximum)	30', 2-Stories
Parking Requirement	2.2 Spaces/DU (2 Covered/.2 Guest)
Common Open Space	150 S.F. (12' minimum dimension, can only occur at pinch points)
Private Open Space (Minimum)	100 S.F. (may be an accumulation of yards, balconies, and patios)
Architectural Projections	3'
Interior Garage Size (for Residential)	
Side-by-Side	20' x 20' Clear
Tandem	10' x 40' Clear
Walls/Fence Height (Maximum)	
LACFCD Property Line Wall/Fence	6' (open rail metal view fence permitted or as per landscape wall and fence plan)
Freestanding Property Line Walls/Fences	5' (design per landscape wall and fence plan)
Combination Property Line Walls/Fences	5' (design per landscape wall and fence plan)
Retaining Walls	4'
Mechanical Equipment	May encroach into setback but shall be fully screened.

3.6.1 ENCROACHMENTS

Architectural features that project from the building and seeks to enhance the structure may encroach into any setback area provided there is always 3 feet of clearance around the projection. Projections shall not encroach into the required clear space for Fire Department Access. Such projections include, but are not limited to, pilasters, chimneys, belly bands, interior closets, and roof eaves up to 24 inches in depth.

3.7 ARCHITECTURAL DESIGN GUIDELINES

The purpose of this section is to ensure that all development within the Specific Plan conforms to high standards of design quality. The standards and guidelines contained within this section seek to establish a design framework for the project. In order to keep consistency across the Specific Plan area, the architectural styles used carry across the entire project.

The terms “shall”, “should”, and “may” are used within the document. The term “shall” is used to denote a design standard where compliance is required. The term “should” is used to denote a guideline that is recommended, but not required in all circumstances. The term “may” is used to denote a design treatment that is allowed or optional.

3.7.1 PLANNING FOR THE PUBLIC REALM

- Building massing, design, and setbacks shall reinforce a pedestrian-scale for the street scene without generating unusable areas or dead spaces.
- Buildings are encouraged to be built to the minimum setback line to create a continuous street edge.
- Buildings should front toward streets, pedestrian pathways and/or common spaces.

- Where building design undulates, spaces along the pedestrian realm should be large enough to foster visual interest, but not too deep to disrupt the continuity of the street or create indefensible spaces.
- Incorporation of appropriate Crime Prevention Through Environmental Design (CPTED) features in the design of spaces such as territorial reinforcement, strategic natural surveillance, well-lit spaces, and appropriate maintenance.

3.8 SCALE, MASSING, AND ARTICULATION

Neighborhoods are primarily defined by the streetscape experience; how the building massing frames the street creating an engaging built form and sense of place. The scale of buildings shall be thoughtfully designed for visual interest, creating rhythm and scale to the street. Composition of massing, interlocking volumes, and addition of stylized details will achieve engaged streetscapes. This may mean subtle massing offsets with a higher-level of detail, or bolder forms with more pronounced massing variation and simple to sparse detail. The design approach shall be tailored to the architectural style and context of the neighborhood theme. For example, if a building is located along a pedestrian walkway or open space, special attention to the fronting elevations shall be given.

In an effort to meet rising housing demand, affordability by design is an important consideration. Homes that feature simple structural (massing and roof) forms will provide an aesthetically pleasing neighborhood and be economically feasible for the builder and buyer alike.

Additionally, if providing smaller homes, consider a simpler, streamlined architectural treatment characterized by stacked massing, simple rooflines, and an attention to detail to maximize buildable square footage.

3.8.1 HUMAN SCALE DESIGN

Buildings should incorporate design and construction methods that add human-scale to the building massing and three dimensional detailing that casts shadows and creates visual interest on the facade.

- Building forms shall be designed and well-proportioned resulting in a balanced composition of elements along the public streets.
- The highest level of design shall occur on the elevations most prominent to the public right of way.
- Selected details shall be incorporated into less prominent elevation facades for a cohesive appearance.
- All elevations shall have building facades articulated through the use of offset massing elements or volumes, complementary colors and materials, variations in building setbacks, or attractive window fenestrations.
- Height Variation: When a building exceeds 100 feet in length, the building height shall visually differ in at least one location by a minimum of two feet.
- Wall Plane Variation: A single wall plane shall not exceed 40 feet in length without a horizontal or vertical wall plane offset of at least one-foot in depth applying to one or more stories.
- In residential structures, provide pedestrian-scaled massing element such as private courtyards, patios, and entry elements.
- Projections, overhangs, and recesses should be used to enhance shadow, articulation, and scale of primary elevations.
- Massing offsets may consist of one or more of the following:
 - Building pop-outs and recesses (wall planes, massing features, or balconies).
 - Bay window or corner-wrapping window.
 - Prominent entry (encouraged on corner-side elevations).
 - Accent roof.
 - Volume space creating height variation.
 - Other similar features which enhance and provide massing articulation.
- Massing offsets shall not encroach into the required horizontal or clear space of a fire access lane and turning radii.
- Entry vestibules or stoops, and architectural design features that provide articulation shall qualify as offsets.

- Blank wall areas visible to the public (without windows, architectural detail, or entrances) are prohibited.
- Architectural elements that create shadow, relief, and sheltered pedestrian areas, such as balconies, trellises, recesses, overhangs, awnings, stoops, and porches are encouraged.

3.8.2 PRIVACY

Privacy is an important consideration in residential site planning. Design techniques should be used to preserve privacy while promoting social opportunities. In particular, windows of units should be located to minimize visual intrusion on neighbors' bedroom windows. Techniques including window placement offsets, low walls and landscaping should be incorporated to provide privacy to residents, indicating transition from the public to private realm.

3.8.3 ROOFS

Roof forms contribute to the overall building design and have a large impact on the mass, scale, and design of the community as viewed from pedestrian spaces.

- Roof design shall incorporate variation in roof forms such as an aesthetic combination of changes in plane, form, ridgelines, and/or heights appropriate to the architectural style.
- Roof forms, material, and fascia elements shall be consistent with the overall design vocabulary of the building and should appear authentic.

- Roof vents should be painted to match or contrast the color of the roof material.
- Fascia design should be complementary to the architectural vernacular.
- Roof design shall be considered in the context of photovoltaic (PV) systems. These locations shall maximize solar access. Thus, simplified roof forms are encouraged.

3.8.4 PRIVATE DRIVE AISLE & ALLEY TREATMENTS

The use of private drive aisles and alleys has evolved from purely functional to a space that residents experience daily, and may include front doors and garage access. Design of these spaces shall address the functional and aesthetic features to create a pleasant experience for residents. At least two of the following shall be implemented along the private drive aisle or alley:

- Massing offsets (layered wall planes, recesses or cantilevers) of at least one-foot.
- Window trim, colors, and selected details from the front elevation.
- Rear privacy walls and pedestrian gates.
- Enhanced garage door patterns or finishes.
- Variety of garage doors using color or design elements.

3.8.5 ARCHITECTURAL DETAILING

Architectural detailing of building facades is a key feature of quality design. Special attention is required in the treatment of entries (doors, vestibules, porches or courtyards) using enhanced trim or details to emphasize these as primary focal points. Articulated or unique window treatments can further enhance wall surfaces, provide shade and wind protection, and contribute to the character of the neighborhood.

- All building elements, such as materials and color, detail elements (porches, balconies, courtyards, awnings, surface treatments, and materials), and functional elements (garage door lights, exterior stairs, guardrails, gutters, downspouts, screen walls, electrical enclosures, or similar features) should be integral to the buildings design, consistent with the architectural vernacular of the building, and complement the surrounding neighborhood.
- All accessory structures should be compatible in design, materials, and color with the primary building(s), and be visually related to the development.

A. ENTRIES

Front entry doors and entryways should:

- Be oriented toward a street, pathway, or gathering space.
- Provide a focal point for each residential unit or the building as a whole.

B. WINDOWS

Windows play an important role in the exterior architectural character of the building. Special emphasis should be given to the way windows are used for design effect consistent with the architectural vernacular.

C. MATERIALS

Construct buildings using quality materials to create a community of character and long-term value.

- A variety of materials and textures shall be incorporated within the design theme of the community.
- Heavier building materials, such as brick, stone, tile, and pre-cast concrete, shall be limited to ground level to form the building base and convey a sense of durable, and balanced construction.
- Durable, quality materials designed to appear as an integral part of the design shall be used.
- Material changes should occur at intersecting planes preferably at inside corners of walls or other meaningful locations where architecture elements intersect.

3.9 FUNCTIONAL ELEMENTS

- All roof-mounted equipment should be screened from ground level view through the use of parapets or other effective architectural elements.
- Ground mounted equipment and meters should be visually concealed and designed to not detract from the architecture of a building.
 - Air conditioning units shall be screened by walls or landscaping a minimum of six inches taller than the equipment and located away from project amenities, except when located in courts and lanes with limited or no screening.
 - Where possible, group equipment.
 - Electrical meters should be ganged and located behind doors.
 - Natural gas meters should be grouped.
- Mechanical devices such as exhaust fans, vents, pipes, gutters, and downspouts should be painted to match adjacent surface, or colored to match accent colors.
- All refuse/recyclable materials areas, mechanical devices, and utility area screening shall be finished using materials, vocabulary, and details compatible with the surrounding architecture

3.10 TRASH

Where feasible, trash service should be accommodated on a unit-by-unit basis, providing necessary pre-designed locations in private garages for the location of solid waste handling carts or bins.

- Storage areas that can be overlooked from above should incorporate roof structures to screen the contents of the enclosure from view. Such roof structures should be designed to allow the doors of the refuse container to fully open.

3.11 ELEVATIONS AND COLOR APPLICATION

The plotting of elevations, color, and material palettes should be selected with the design objectives of avoiding monotony, providing depth and interest with a variety of colorful design schemes, and promoting visual diversity along public streets.

- Colors should complement the architectural style and overall color scheme of the building.
- Selected finish materials should be appropriate in their use and application, be durable, and of high quality.
- Changes should occur at logical termination points, generally at inside corners.

3.12 ARCHITECTURAL STYLES

The massing, character and detailing of an architectural style should be expressive of and authentic to that style. However, the style guidelines should be applied with flexibility to allow appropriate detailing and design for the specific structure or use.

The style information on the following pages provides the builder and design consultants with the tools to create functional and attractive architectural designs without using gimmicks or sacrificing the integrity of the style.

If a different or additional architectural style is proposed, such proposal shall be reviewed by the Planning Commission.

AUTHENTICITY

The design criteria encourage a high quality of architecture and reasonable level of authenticity of styles through the use of appropriate elements. Although detail elements may be used to further convey the character of a style, the overall massing and appropriate roof forms should be used to establish a recognizable style. Proper scale and proportion of architectural elements and appropriate choice of details are all factors in achieving authenticity.

There is a Menu of Common Features listed with each style that should act as a guide for design. Every feature does not have to be included in the architecture, but the features listed are characteristic to each style and may be used as appropriate to create authentic and identifiable elevations.

GENERAL DESIGN ELEMENTS:

- Light fixtures, design details, garage and front doors shall match the elevation style of the home.
- If flat roofs are used, they are typically shielded by parapets and may have accent roof features such as gables, hips or sheds.
- Projections to articulate facades are typical and may include building wall planes, awnings, overhangs, canopies, window trim or accent roof forms.
- Windows are typically a primary feature; design sometimes includes groupings, unique size or shape or oversized and symmetrical mullions.
- If used, railings shall enhance the architectural style.

DESIGN STANDARDS AND GUIDELINES

3.12.1 SPANISH

The Spanish style attained wide-spread popularity after the Panama-California exposition of 1915 in San Diego. The Spanish style's most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors and porticos, highlighted ornamental iron work and carefully proportioned recessed windows appropriate to its wall mass.

Key features of this style are adaptable to buildings both grand and humble. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.



Table 3.2: Spanish Elements

Elements	Menu of Common Features
Roof Components	3.5:12 to 5:12 roof pitch
	0" to 18" overhangs
	Rafter tails
	Parapets with barrel tile caps
Roof Materials	Gables
	Concrete "S" tile
Architectural Components	Recessed openings at front and corner elevations
	Porches, balconies or verandas
Wall Materials	Medium sand float stucco finish (16/20)
	Decorative ceramic tile or brick accents
Trim & Details	Header and sill trim
	Closed or exposed eaves
	Decorative wrought iron details
Windows	Vertically proportioned windows with divided lites, gliding windows acceptable
	Focal window
Doors & Gates	Front entry doors without a porch, deeply recessed from front facade
	Rectangular or arched surrounds (following door or design)
	Garage and front door patterns to complement style
Color & Material Palette	Concrete Roof Tile Colors: hues of terracotta and orange-reds reminiscent of clay tile
	Stucco Colors: whites and off-whites to light value warm tones
	Trim Colors: mid to dark value warm tones simulating wood stain colors and warm, light to mid value colors reminiscent of precast concrete as appropriate to details
	Accent Colors: saturated to muted shades of blue, green, burgundy, rust or gold
	Brick Colors: terracottas, orange-reds, browns or taupes
	Decorative Metal Colors: hues of bronze or black
	Decorative Ceramic Tile Colors: colors consistent with historic Malibu tiles

DESIGN STANDARDS AND GUIDELINES

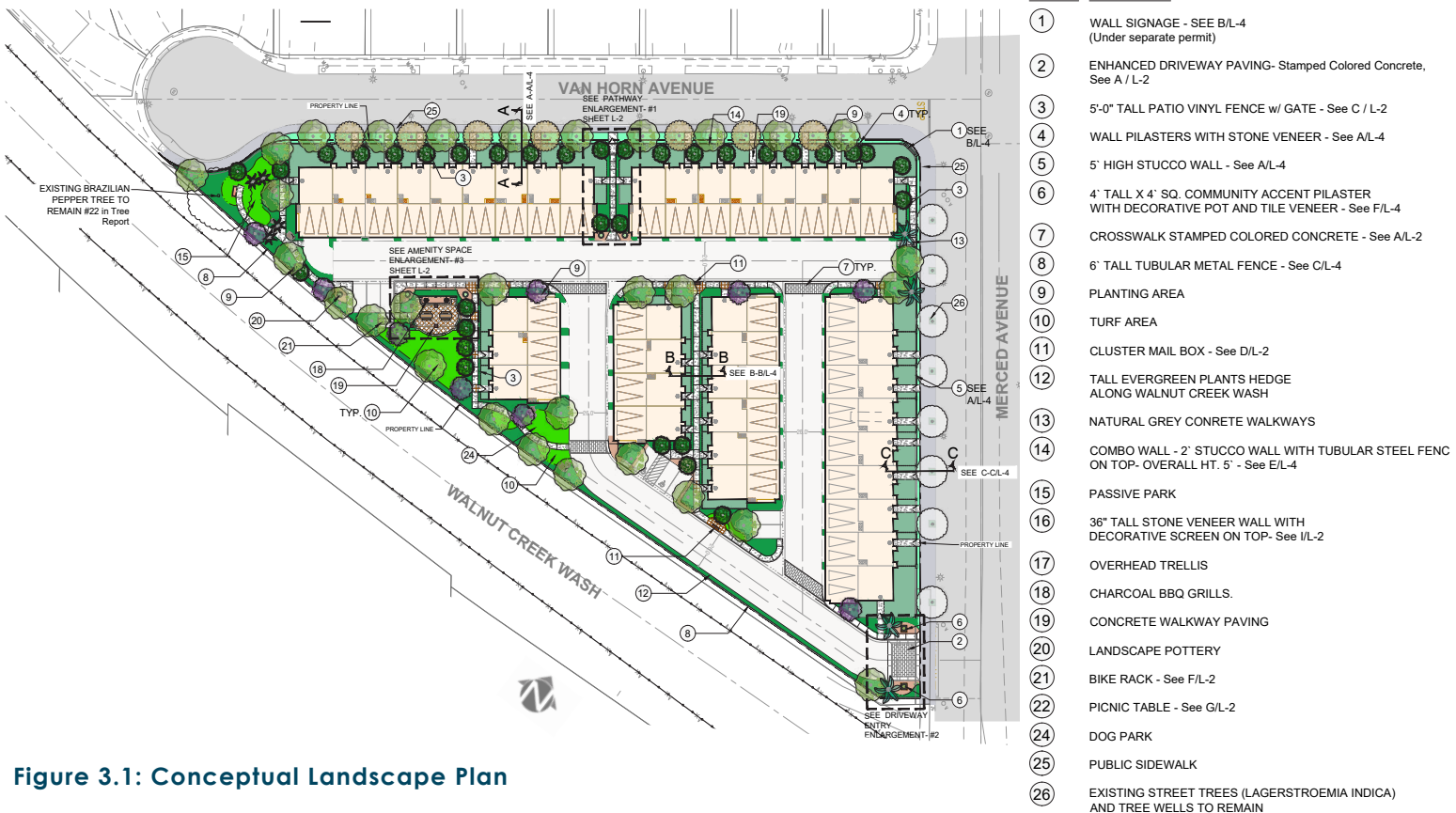
3.13 LANDSCAPE DESIGN

The urban nature of this community encourages a distinct landscape character with a creative and unique landscape aesthetic. The internal circulation shall be designed to be walkable and engaging for pedestrians. Landscape shall be planted to soften the built environment. However, trees shall be strategically located so as not to interfere with driving visibility.

In urban planting schemes, it is critical to achieve contrast between plant species. The contrast can be in color (green to red), form (spiky to hedged), texture (lacy to static), or color value (dark to light). Such variation provides visual interest and contributes to the community character.

The landscape shall meet the following:

- Utilization water conserving features such as low-precipitation rate heads; low-flow micro sprays or drip irrigation, water sensors and multi-program controllers with weather station capability and drip circuit features;
- “Water Efficient Landscapes” irrigation system, scheduling and water use WELO calculations shall be designed to meet the requirements of the specifications of the City of West Covina; and a
- Plant palette that meets the City of West Covina standards.











3.14 WALLS AND FENCES

Walls and Fences both define the transition from public to private space, enhance privacy, and contribute to the aesthetic of the community.

Walls and fences shall not become an eyesore but another landscape feature in the Specific Plan area. When implementing residential uses, walls and fences shall be a part of the community theme and enhance the visual character.

There are variety of walls and fence types included in the Specific Plan to accommodate unique site conditions. Figure 3.2: Conceptual Wall and Fence Plan provides an example of how the walls and fences can be applied.

WALL & FENCE SCHEDULE

CODE	DESCRIPTION	QTY
	42" TALL PATIO VINYL FENCE w/ GATE Similar to C / L-2	489 lf
	WALL PILASTERS w/ STONE VENEER - See A / L-4	33
	5' HIGH STUCCO WALL - See A / L-4	383 lf
	6' TALL TUBULAR METAL FENCE - See C / L-4	667 lf
	2' STUCCO WALL w/ TUBULAR STEEL FENCE ON TOP - OVERALL HT. 5' - See E / L-4	680 lf
	5' VINYL FENCE - See C / L-2	363 lf
	TUBULAR METAL GATE - 36" WIDE - See E / L-4	22
	VINYL GATE - 36" WIDE	15

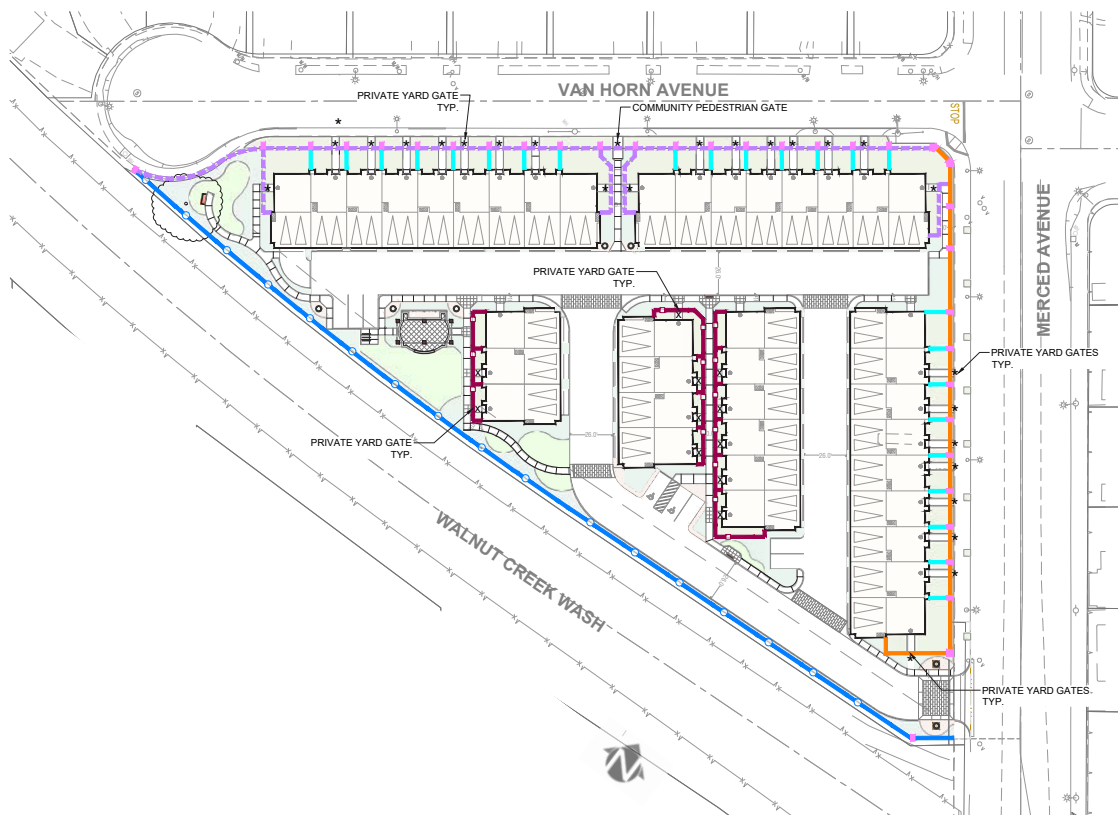


Figure 3.2: Conceptual Wall and Fence Plan

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CHAPTER 04

INFRASTRUCTURE

4.1 GENERAL INFRASTRUCTURE PLAN

Development under the Specific Plan will be supported by existing and proposed infrastructure improvements. Proposed infrastructure will be subject to the local agency requirements at the time of development and must adhere to all current adoptions of design and construction codes and criteria.

Adequate infrastructure and utility systems are essential components of the Specific Plan. Identified infrastructure systems will ensure that the project area supports anticipated development with essential utilities and services as efficiently as possible. All facilities will be developed to the standards of the service provider and as required by applicable government standards. This section defines the major components of water, sewage, storm water drainage, solid waste disposal and other essential facilities planned within the Specific Plan area.

4.2 CIRCULATION

The ingress and egress for the Specific Plan area is located off West Merced Avenue. The public streets surrounding the Specific Plan boundary will remain as is, however the Specific Plan does permit private drive aisles within the project boundary. Such private drive aisles may be narrower than the public streets to maximize developable area.

- Private drive aisles shall be 26' wide (minimum) and provide direct access to all units.
- Private drive aisles shall be designed to accommodate emergency vehicles where deemed necessary by the fire department.

4.3 GRADING

Proposed grading of the site is intended to comply with City of West Covina requirements. The site generally slopes toward the southwest. Alta anticipates that conventional cut-and-fill grading techniques will be used to develop the site for the support of wood-frame and stucco construction with shallow foundations and reinforced concrete slabs-on-grade, and associated improvements.

Refer to Figure 4.1: Conceptual Grading Plan.

4.4 STANDARD URBAN STORMWATER MITIGATION PLAN

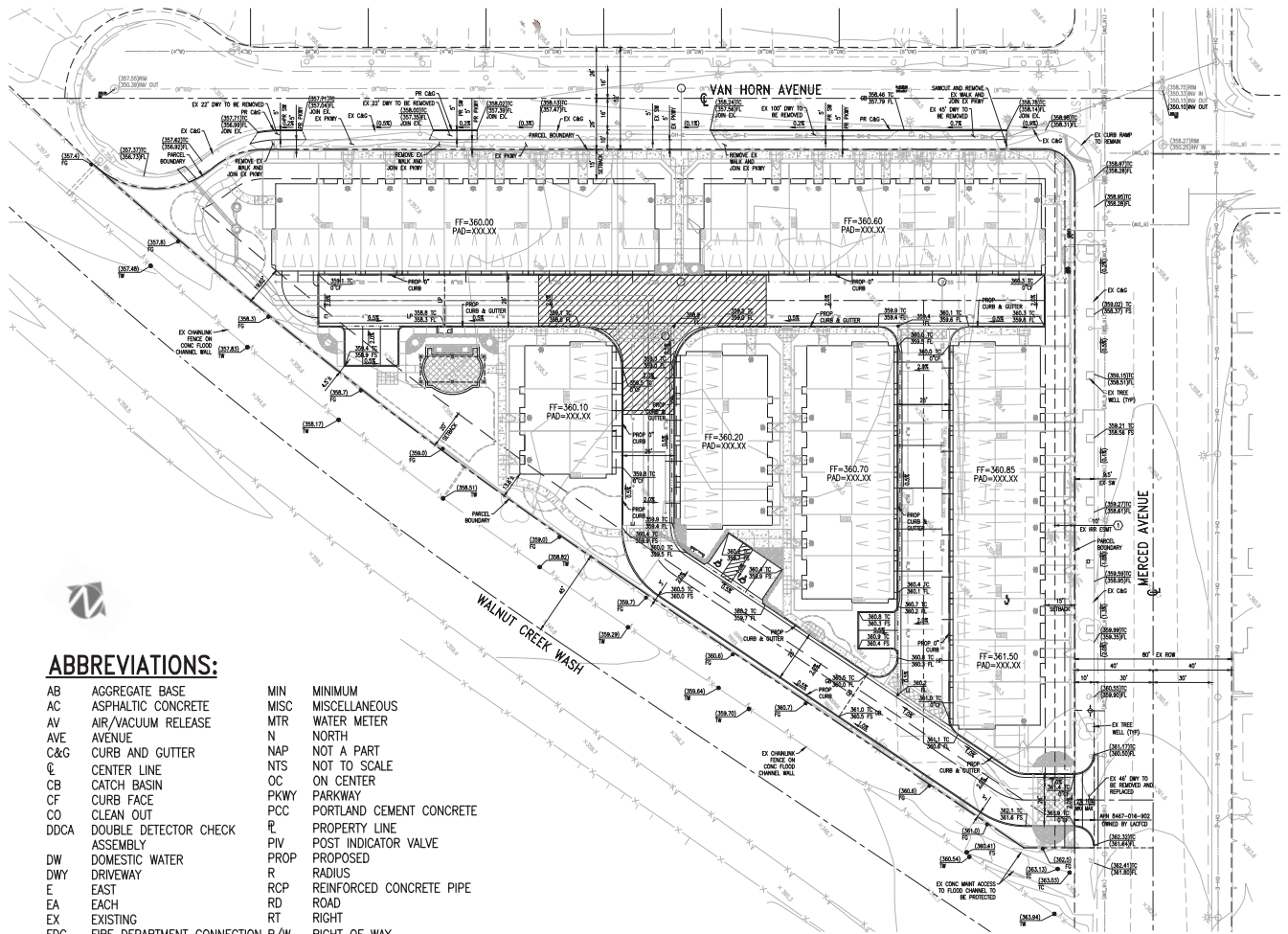
In the City of West Covina, stormwater enters the local storm drain system, which drains to Walnut Creek Wash and San Jose Creek and flows to the San Gabriel River. The San Gabriel River flows to the San Pedro Bay on the Pacific Ocean coast. The Standard Urban Stormwater Mitigation Plan (SUSMP) was developed as part of the municipal stormwater program to address stormwater pollution from new developments and redevelopment projects. The proposed site improvements are intended to comply with the City of West Covina and County of Los Angeles' water quality SUSMP requirements and shall include a detention system with infiltration to clean the stormwater first flush before discharging from the project.

4.5 STORM DRAIN PLAN

A private storm drain system located within the main drive aisles will convey the site stormwater runoff to an underground detention system. The stormwater will be collected into catch basins that connect to the Walnut Creek Wash.

There is an existing catch basin located at the end of the Van Horn Avenue cul-de-sac, adjacent to the project property line. Additional catch basins will be constructed throughout the project.

Refer to Figure 4.2: Conceptual Utility Plan.



ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALTIC CONCRETE	MISC	MISCELLANEOUS
AV	AIR/VACUUM RELEASE	MTR	WATER METER
AVE	AVENUE	N	NORTH
C&G	CURB AND GUTTER	NAP	NOT A PART
CL	CENTER LINE	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CF	CURB FACE	PKWY	PARKWAY
CO	CLEAN OUT	PCC	PORTLAND CEMENT CONCRETE
DDCA	DOUBLE DETECTOR CHECK ASSEMBLY	PL	PROPERTY LINE
DW	DOMESTIC WATER	PIV	POST INDICATOR VALVE
DWY	DRIVEWAY	PROP	PROPOSED
E	EAST	R	RADIUS
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EX	EXISTING	RD	ROAD
FDC	FIRE DEPARTMENT CONNECTION	RT	RIGHT
FF	FINISHED FLOOR	R/W	RIGHT OF WAY
FG	FINISHED GRADE	S	SOUTH/SLOPE
FH	FIRE HYDRANT	SD	STORM DRAIN
FL	FLOW LINE	SDMH	STORM DRAIN MANHOLE
FS	FINISHED SURFACE	SF	SQUARE FEET
FW	FIRE WATER	SL	STREET LIGHT
FWY	FREEWAY	SS	SANITARY SEWER
GB	GRADE BREAK	SSMH	SEWER MANHOLE
HP	HIGH POINT	STA	STATION
HOR	HORIZONTAL	STD	STANDARD
ID	INSIDE DIAMETER	TC	TOP OF CURB
INV	INVERT	TF	TOP OF FOOTING
JS	JUNCTION STRUCTURE	TG	TOP OF GRATE
LAT	LATERAL	TOP	TOP OF PIPE
LT	LEFT	TRW	TOP OF RETAINING WALL
MAX	MAXIMUM	TW	TOP OF WALL
MH	MANHOLE	TYP	TYPICAL
		W/	WEST/WITH

Figure 4.1: Conceptual Grading Plan

4.6. SEWER PLAN

Sewer service for the project shall be provided through the City of West Covina. The project shall tie into the existing public sewer in Van Horn Avenue via an on-site public or private sewer line of size and configuration to be determined during final engineering.

Refer to Figure 4.2: Conceptual Utility Plan.

4.7 WATER PLAN

Water service for the project will be provided by Suburban Water. The on-site water system shall be a minimum 4" water line that provides both domestic and fire service to the site. Points of connection will occur into the existing water lines within Merced Avenue.

Refer to Figure 4.2: Conceptual Utility Plan.

4.8 UTILITIES

4.8.1 ELECTRICITY

Southern California Edison (SCE) shall provide electric service to the project area and shall extend service to the project in accordance with rules and policies for extension of service on file with the California Public Utilities Commission.

4.8.2 NATURAL GAS

The Southern California Gas Company shall provide natural gas service to the project at the time contractual arrangements are made in accordance with Gas Company policies and extension rules and policies for extension of service on file with the California Public Utilities Commission.

4.8.3 TELEPHONE SERVICE

Verizon provides telephone service to the project area and shall extend service to the project in accordance with extension rules and policies for extension of service on file with the California Public Utilities Commission.

4.8.4 CABLE TV

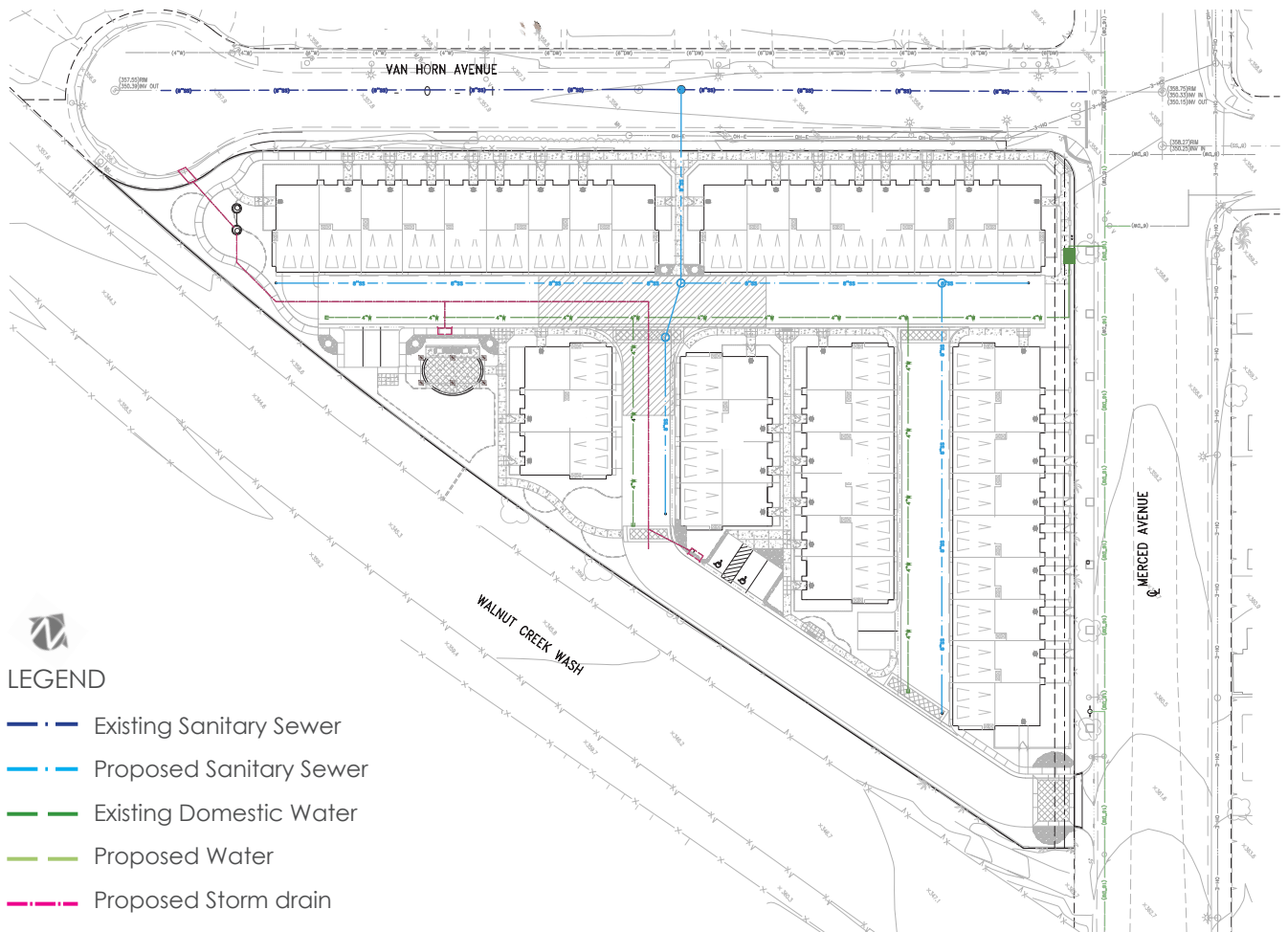
Charter Communications provides cable service within the City of West Covina and shall provide service at the time contractual arrangements are made.

4.8.5 INTERNET ACCESS

Both Verizon or Charter Communications offer Internet service within the project area and shall provide service at the time contractual arrangements are made.

4.8.6. SOLID WASTE

Athens Services is contracted by the City of West Covina to provide waste hauling services within the city and for their material recovery facility (MRF) program. Athens Services shall provide solid waste collection services to the project.



LEGEND

- Existing Sanitary Sewer
- Proposed Sanitary Sewer
- Existing Domestic Water
- Proposed Water
- Proposed Storm drain

Figure 4.2: Conceptual Utility Plan

4.9 PUBLIC SERVICES

4.9.1 SCHOOLS

School services will be provided by the West Covina Unified School District. The Project will be served by the following schools:

- Elementary School: Wescove Elementary
- Middle School: Edgewood Middle School
- High School: Edgewood High School

Pursuant to Government Code Section 65995, the project will be required to offset impacts to the school system by paying a mandatory mitigation fee per square foot, paid at the time of building permit issuance.

4.9.2 PARKS AND OPEN SPACE

The City of West Covina Community Services Department manages all public park and community facilities within the City. These parks and facilities provide a range of community and recreational services to residents. In addition to public facilities, there are also privately run facilities that provide additional recreational opportunities for residents. The City currently operates fifteen public parks and the seven City facilities, including community and senior centers, equestrian area, pool facilities, and a nature center.

4.9.3 PUBLIC LIBRARY

The West Covina Library is part of the County of Los Angeles Public Library and is located near City Hall at 1601 West Covina Parkway.

4.9.4 FIRE

Fire services shall be provided by the City of West Covina Fire Department. Per the City's Fire District Map (current at the adoption of this Specific Plan), the Project will be served by Fire Station No. 1 which is located at 1819 South Sunset Avenue, approximately 1 mile from the project site. Development on the project site will comply with the requirements of the City's Fire Code, including providing adequate fire flow to the project site, providing access routes that accommodate emergency access (including fire access routes that meet the minimum width and turning dimensions as required by the City's Fire Department), and incorporating fire protection and suppression features as required by the City's Fire Department.

4.9.5 POLICE

Public safety and general law enforcement services for the Project shall be provided by the City of West Covina Police Department. This includes patrolling services, traffic enforcement, and criminal investigations. The Project is located within Service Area 3 (Central) as depicted on the current West Covina Police Department coverage map (as of adoption of this Specific Plan). On-site security features required, consist of the following Crime Prevention Through Environmental Design principles:

- Front doors and windows that face public sidewalks and common areas to allow for natural surveillance;
- Street, pathway, and building lighting;
- Signage and walkways for pedestrian wayfinding and to guide vehicles to and from the proper entrances.

CHAPTER 05

IMPLEMENTATION & ADMINISTRATION

5.1 IMPLEMENTATION

The implementation of this Specific Plan will be accomplished through the City's development review process, considering development plans from concept to construction drawings. Upon adoption of the Plan, developers and/or property owners may prepare and submit plans for development within the Specific Plan Area. Development plans shall be prepared and submitted for review in conformance with the provisions of this Specific Plan and the requirements of the City's Code.

5.1.1 PHASING

Phase 1 shall include clearing of the site, grading, and installation of all utilities and roadways. Phase one is anticipated to last approximately four months.

Phase 2 shall include the construction of all buildings. Phase 2 may be further divided into sub-phases and is expected to last approximately 18 months depending upon market conditions.

All new development shall provide the appropriate level of public improvements, services, and utilities to adequately serve the proposed uses for each phase of development. Confirmation by the Public Works Department of adequate facilities shall be provided prior to the issuance of building permits.

5.1.2 FINANCING

All private infrastructure improvements shall be funded entirely by the developer of the project. Public improvements shall be conditioned to be completed by the developer as determined appropriate by the City of West Covina. The developer shall pay any applicable fees to the City of West Covina or other applicable agencies if required for connection and/or capacity expansion fees (or other similar fees). The City of West Covina shall ensure and developer shall install adequate facilities available to serve the project prior to issuance of an occupancy permit for any portion of the project consistent with the phasing policies describes in section 5.1.1.

Consistent with the City of West Covina's requirements or mitigation measures identified in the Mitigated Negative Declaration, the project developer shall be required to pay fees or contribute to public service facilities on a prorated share based on the project impacts to public services. Confirmation that the project has met its fair share contribution to public services shall be required prior to the issuance of a building permit or occupancy permit, as determined by the Public Works Director.

5.1.3 MAINTENANCE

The Community shall have a private Homeowner's Association (HOA). The association shall provide maintenance of all private common area improvements, including landscape, fences, and walls. The HOA shall also be responsible for any private streets, alleys, and motor courts.

5.2 ADMINISTRATION

The Administration section is intended to provide the regulatory framework for any subsequent entitlements that shall be required and is consistent with the West Covina Municipal Code.

The Specific Plan includes development and design standards and guidelines; however, amendments to the Specific Plan may be needed over time to respond to changing conditions and circumstances. This section provides direction to administer the Specific Plan. In accordance with California Government Code Sections 65453 through 65454, a Specific Plan shall be amended in the same manner as a General Plan, except that a Specific Plan may be amended as often as deemed necessary by the City Council. Any subsequent discretionary approval or amendment to the Specific Plan must be consistent with the General Plan as amended and/or updated, except where the Developer/Applicant possess vested rights under the terms of a Development Agreement entered into between the Developer/Applicant and the City.

It is expected that future development applications will be in substantial conformance with the Specific Plan, or an amendment to the Specific Plan may be required. Modifications and amendments to the Specific Plan shall be governed by this Section. Amendments shall be classified into the following categories:

5.2.1 INTERPRETATIONS

The Planning Director of the City of West Covina, or their designee, shall have the responsibility to interpret the provisions of The Grove at Merced Specific Plan.

5.2.2 SUBSTANTIAL CONFORMANCE

“Substantial conformance” means that any proposed activity, construction, and development complies with the Specific Plan, adopted mitigation measures, and project conditions of approval; where no additional units, property, or parcels beyond that provided by the Specific Plan or approved map are involved; approved minimum lot sizes and setbacks are maintained; proposed construction is consistent with the architectural guidelines provided in the Specific Plan; no grading beyond substantial conformance limits is proposed; and no significant environmental impact is created. The amenities, landscaping, architectural plotting and design, and wall or fence design may vary as long as they continue to meet the development standards specified in Chapter 2: Land Use and are generally consistent with the purpose and intended character described in Chapters 3 Standards and Guidelines and Chapter 4 Infrastructure.

The Planning Director or their designees shall make a determination of substantial conformance prior to the issuance of any permits or approval of plans. No written determination is required provided that plans submitted to the city for approval exhibit substantial conformance with The Grove at Merced Specific Plan.

5.2.3 SPECIFIC PLAN AMENDMENTS

If a project applicant seeks a modification or adjustment to the Specific Plan which is deemed by the Planning Division to be a substantial modification, the Community Development Director shall have the discretion to refer any such requests to the City's Planning Commission for review and consideration. Minor modifications and adjustments to the Specific Plan may be approved by the City's Community Development Director or their designee as stated in Section 5.2.4.

An amendment to the Specific Plan is required if the following occur:

- Changes to the overall Specific Plan boundaries;
- A change in any other provision, purpose, or standard of the Specific Plan, which would significantly alter the basic intent, identity, or concepts of the Specific Plan; or
- An increase in the overall development density thresholds within the Specific Plan.

An applicant may request amendments to The Grove at Merced Specific Plan at any time pursuant to Section 65453(a) of the Government Code.

An amendment to the Specific Plan requires public hearings, including a recommendation by the Planning Commission and approval by the City Council. Specific Plan amendments are governed by California Government Code, Section 65456, and require an application and fee to be submitted to the City's Planning Division. The application shall state in detail the reasons for the proposed amendment.

The Grove at Merced Specific Plan shall not be approved or amended unless the following findings are made by the Planning Commission and City Council:

- The Specific Plan or amendment systematically implements and is consistent with the General Plan;
- The Specific Plan allows for a more coordinated and cohesive development compared to what is allowed under traditional zoning classifications; and
- The Specific Plan or amendment provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required for the long term needs of the project and/or other area residents and complement the orderly development of the City of West Covina.

If the proposed amendment requires additional environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) for the proposed amendment are responsible for all fees and costs associated with the preparation of any necessary CEQA documentation.

5.2.4 MINOR MODIFICATIONS

In order to provide flexibility to the project review process, the Planning Division, without a public hearing, may approve through a Minor Site Plan Review any minor adjustments to the project of a development standard for yards, setbacks, and architecture.

The Community Development Director or their designee may allow minor modifications or adjustments to the Specific Plan through an administrative review process, so long as those minor modification and adjustments are consistent with the intent of the Specific Plan.

Minor modifications may be warranted to accommodate changes resulting from final design and engineering that cause adjustments in roadway alignments, location of utilities or other infrastructure, development of innovative product design, or other similar modifications deemed to be minor.

Minor modifications or technical adjustments may include, but are not limited to the following:

- Modifications necessary to comply with final Conditions of Approval or mitigation measures;
- Addition of information to the Specific Plan (including maps or text) for purposes of clarification that does not change the intent of any plan or regulation, as well as correction of any clerical or grammatical errors;
- Adjustments to the alignment, location and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City's Engineering so long as the adjustments or changes are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities;

- Minor adjustments to any of the development standards or regulations such as modification of wall heights for noise attenuation purposes, modification of allowable encroachments into setbacks, etc. that are specifically allowed under the Development Regulations of this Specific Plan;
- Minor changes to landscape materials, wall materials, entry design, and streetscape design which are consistent with the design criteria set forth in the Design Guidelines of the Specific Plan;
- Minor changes to the architectural or landscape design guidelines, which guidelines are intended to be conceptual in nature and flexible in implementation; and
- Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, improves infrastructure, or provides similar utility and reduces operations and maintenance costs.

The minor modifications described and listed above are not comprehensive. Any modification that is deemed by the Community Development Director to be in substantial conformance with the purpose and intent of the Specific Plan shall be permitted. The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo any necessary technical review by

City agencies or departments as the Community Development Director or their designee deems necessary.

5.2.5 MAJOR MODIFICATIONS

Amendments may be requested at anytime pursuant to Section 65453(a) of the Government Code. Proposed amendments deemed to be Major Modifications by the Community Development Director as defined herein will be processed by the Community Development Department through the Administrative Review Process and approved by the Planning Commission; and, City Council as may be required. Subject to the determination of the Director, the changes identified below may be processed as a Specific Plan Amendment.

- Location or reconfiguration of major streets.
- Different or additional architectural style.
- Specific modifications of a similar nature to those listed above which are deemed by the Director to be in keeping with the spirit and intent of the Specific Plan and are in conformance with the General Plan.

5.2.6 APPEAL PROCEDURE

An appeal of any determination, decision, or requirement of City staff or the Planning Commission shall be made in conformance to the appeal procedures established by the West Covina Municipal Code.

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CHAPTER 06

GENERAL PLAN

CONSISTENCY ANALYSIS

6.1 INTRODUCTION

The General Plan Consistency Analysis provides a summary of applicable goals, policies, and actions to demonstrate the Specific Plan's compliance with the General Plan as required by State law.

6.2 OUR NATURAL COMMUNITY

6.2.1 AIR

P1.1: Promote alternative transportation modes like walking, biking, and transit that reduce emissions related to vehicular travel.

P1.2: Promote the use of energy-efficient vehicles.

P1.3: Minimize the adverse impacts of growth and development on air quality and climate.

Consistency Analysis: The Grove at Merced Specific Plan promotes alternative modes of transportation in a variety of ways. The Specific Plan provides a medium density housing opportunity within walking distance a variety of uses: to public transit (bus stop located at intersection of Merced Ave and Orange Ave), commercial and retail uses, Edgewood High School (located at intersection of Merced Ave and Orange Ave), Orangewood School (Orange Ave and Durness Street), employment centers (Kaiser Permanente (.5 miles away), Emanante Health Queen of the Valley Hospital (.6 miles away).

The proposed development will incorporate energy production and conversation design elements, including PV solar and necessary infrastructure to allow homeowners to install private EV charging stations to encourage EV adoption. The baseline design of these systems will provide Title 24 (CalGreen) compliance.

6.2.2 WATER

P1.5: Where appropriate, new development shall minimize impervious area, minimize runoff and pollution, and incorporate best management practices.

Consistency Analysis: The Grove at Merced Specific Plan will incorporate best management practices (BMPs) in the development plans. In accordance with regional and local regulations, BMPs have been implemented as part of the stormwater treatment plan for the site to prevent pollutants from entering the storm drain system. A biofiltration system is planned for the project site, collecting stormwater through catch basins and eventually draining to the Walnut Creek Wash.

6.2.3 ACCESS TO NATURE

P1.6 Preserve, conserve and add to public open space.

P1.9: During the review of public and private development projects, analyze potential impacts to views of natural areas from public streets, parks, trails, and community facilities.

P1.10 To preserve nighttime views within and immediately adjacent to single family residential zones, require property owners within and directly adjacent to these zones to utilize shielding and directional lighting methods to direct lighting away from adjoining properties.

The Specific Plan is located on an underutilized previously development property, and does not negatively impact the City's open space.

The developer is required to pay park fees. However, a private recreational amenity will be provided on site, enhancing the experience for the Specific Plan residents as well as reducing demand on public parks and vehicle trips with this amenity accommodation.

6.2.4 STREET TREES

P1.11: Plant to maximize the social, economic, and environmental benefits of trees.

Consistency Analysis: Street trees will be planted where feasible and purposeful. Furthermore, development plans for the project site will include a landscape plan with an approved plant palette.

6.3 OUR PROSPEROUS COMMUNITY

6.3.1 MAINTAIN AND MONITOR WEST COVINA'S FISCAL HEALTH

P2.1: Maintain and enhance the City's current tax base.

P2: Diversify local tax base.

Consistency Analysis: The proposed project supports nearby retail and commercial uses by creating medium density housing within walking and public transit distance of such uses.

6.3.2 REINFORCE THE WEST COVINA'S BRAND AS A GREAT PLACE TO LIVE, WORK AND PLAY IN THE SAN GABRIEL VALLEY

P2.4: Build on and grow West Covina's regional appeal.

P2.6: Create a diversity of housing options.

Consistency Analysis: The proposed project increases West Covina's regional appeal by providing new housing opportunities close to freeways, commercial and retail uses, employment, and public transit. Additionally, medical centers as well as the Plaza West Covina shopping center are all within close proximity to the site. As West Covina is conveniently located near downtown Los Angeles, the San Gabriel Valley and Orange County, the Specific Plan locale is attractive to those looking to be in a centralized location regionally and locally.

6.4 OUR WELL PLANNED COMMUNITY

P3.1: Preserve existing housing stock.

P3.3: New growth will complete, enhance, and reinforce the form and character of the unique West Covina neighborhoods, districts, and corridors.

P3.6: Reduce West Covina's production of greenhouse gas emissions and contribution to climate change, and adapt to the effects of climate change.

Consistency Analysis: The Specific Plan proposes to redevelop an underutilized parcel of land, with new, high quality homes. The intent of the regulations and guidelines set forth in the Specific Plan are to develop the property with a pleasant residential enclave of fresh housing, quality architecture, and attractive landscaping. The project will enhance the surroundings but redeveloping a blighted parcel.

The proposed project allows for existing housing stock to remain. While some residents prefer older homes, the Specific Plan enables new housing stock to enter the market, resulting in more choices for the community.

The Specific Plan is located on an infill site close to transit and within walking distance to various uses, reducing otherwise necessary vehicle trips.

The Specific Plan provides guidance on community aesthetics. As such, the future development within the Specific Plan boundary will be required to implement thoughtfully design architecture and

landscaping. A Homeowners Association will be required to maintain and enforce CC&Rs and any common area maintenance. Having an HOA encourages more visual quality enforcement. Such long term operations support the neighborhood stability and value.

6.5 OUR ACCESSIBLE COMMUNITY

Although there are not specific provisions in the Specific Plan to address this General Plan section, the Specific Plan area is proximate to transit.

6.6 OUR RESILIENT COMMUNITY

6.6.1 CIRCULATION

P5.1: Promote fine-grained network of complete streets in new and redevelopment projects.

Consistency Analysis: The Specific Plan accommodates larger typical streets as well as 26' curb to curb drive aisles. These aisles are fire department accessible yet more intimate and appropriate for new development. Smaller street sections slows traffic and denotes a neighborhood environment. Walking is encouraged through the neighborhood and can be done either along sidewalks, interior paseos. Due to the size of the Specific Plan property, drive aisles are implemented rather than typical neighborhood streets, guest parking can be accommodated in pull-in spaces.

6.6.2 LAND USE

P5.1: Allocate land uses based primarily on the control of physical form, intensity, and arrangement of buildings, landscapes, and public spaces that enable land and building functions to adapt to economic, environmental, energy, and social changes over time.

Consistency Analysis: The proposed project entails a specific plan to respectfully and adequately provide housing to the West Covina community. In order to help meet demands, development standards are being requested that provide more flexibility than the existing zoning code. As a result, innovative housing can be provided that is high quality, aesthetically pleasing, and satisfies a range of buyers. The flexible development standards also enable open space within the Specific Plan boundary for local recreation and socialization.

6.6.3 BUILDING AND LANDSCAPE FORM

P5.4: Buildings, lots, and blocks primarily scaled around the pedestrian and transit, creating a human-scaled spatial enclosure. Buildings should be informed by surrounding physical context, the adjacent landscapes, structures, local conditions, building traditions, and the microclimate.

Consistency Analysis: The development standards limit building height to two-stories. By doing so, the future residential structures will stay compatible and complimentary to the surrounding residential neighborhoods. Front doors will face streets or paseo,

engaging the public realm. The guidelines within the Specific Plan are intended to direct designers to initiate quality homes with interesting and pleasing aesthetics. All landscape will be compatible with the area's aesthetic and with the climate.

6.6.4 ENERGY

P5.6: Continue existing beneficial energy conservation programs, including adhering to the California Energy Code in new construction & major renovations.

Consistency Analysis: Homes will be designed to current building code standards, which is at minimum, the California Energy Code 2019 cycle. This code cycle focuses on construction improvements including but not limited to photovoltaic panel installation, energy efficient appliances, and increased insulation.

6.6.5 WATER

P5.7: Continue existing beneficial energy conservation programs, including adhering to the California Energy Code in new construction & major renovations.

Consistency Analysis: Homes and landscaping will be designed to current building codes including CalGreen through which water conservation measures such as low flow appliances and smart irrigation is requested.

6.6.6 SEWER

P5.8: Ensure provision of adequate sewer system capacities to serve existing & planned development.

Consistency Analysis: Sewer capacity has been studied as part of the Specific Plan process. Findings show that the Specific Plan would not require any new off-site improvements.

6.6.7 SOLID WASTE

P5.9: Provide adequate facilities & services for the collection, transfer, recycling, & disposal of refuse.

Consistency Analysis: As part of the project preparation, it has been determined that Athens Services will provide all waste collection services. A waste collection plan will be provided to ensure successful waste collection.

6.7 OUR HEALTHY AND SAFE COMMUNITY

6.7A. HEALTH

6.7.1 ACTIVE LIVING

P6.1 Promote and support transportation decisions that reduce driving and increase rates of transit use, walking, and biking.

P6.2 New and renovated buildings should be designed and constructed to improve the health of the residents, workers, and visitors.

Consistency Analysis: The Grove at Merced Specific Plan enables public transit use and pedestrian activity due to its proximity to bus stops and various surrounding uses. By implementing a medium density community, more residents can benefit from the Specific Plan location.

6.7B POLICE

P6.12 Address safety during development review process.

Consistency Analysis: Public Safety services are provided by the City of West Covina Police Department. The project has been designed with Crime Prevention Through Environmental Design (CPTED) principles such as: front doors and windows facing out to the street or on to common areas enhancing surveillance, lighting for low light hours, and landscape design that does not impede visibility.

The southern boundary of the project runs along the Walnut Creek Wash. Appropriate fencing and safety measures will be placed for security.

6.7C FIRE

P6.14 Address fire-prevention during development review process.

Consistency Analysis: The Specific Plan and development plans will go through a thorough fire review. Both structures and emergency access will be designed in compliance with the building and safety codes.

6.7D NATURAL HAZARD

P6.15 Limit the exposure to potential natural hazards through adoption and enforcement of appropriate building standards, land use controls, and environmental review.

P6.16 Take actions to reduce the potential for loss of life or property in areas of high seismic risk and areas subject to landslide and liquefaction hazards.

P6.17 Take actions to reduce the potential for loss of life or property in high fire hazard areas.

P6.18 Take actions to reduce the potential for loss of life or property in flood zones and potential dam inundation areas.

Consistency Analysis: The CEQA review (Initial Study/Mitigated Negative Declaration) analyzed potential hazards. Any require mitigation measures will be implemented.

6.7E NOISE

P6.23 Ensure that new development is not exposed to excessive noise.

P6.24 Ensure that new development does not expose surrounding land uses to excessive noise.

P6.25 Minimize noise conflicts between local noise generators and sensitive receivers.

Consistency Analysis: The Mitigated Negative Declaration of Environmental Impact (MND) prepared for the project disclosed that the project will not have a significant impact on the environment. Studies were completed for Air

Quality, Greenhouse Gas Emissions, Noise and Vibration and Traffic. Mitigation measures have been incorporated into the project's design reduce impacts on the environment to a less than significant level.

6.8 OUR ACTIVE COMMUNITY

6.8.1 VARIETY OF OPEN SPACE TYPES

P8.1 Encourage the distribution of a variety of park types and sizes throughout the City.

P8.2 Encourage the development of non-traditional park types, including green belts, linear parks, urban trails, and pocket parks.

Consistency Analysis: The proposed Specific Plan encourages common open space within the project boundary offering recreational opportunities to the community's residents. In addition, there is a trail along the Walnut Creek Wash that is adjacent to the Specific Plan.

6.8.2 WALK OR BIKE TO PARKS

P8.4 Small and frequent open spaces should be dispersed throughout the neighborhood.

Consistency Analysis: The proposed Specific Plan encourages common open space within the project boundary offering recreational opportunities to the community's residents. In addition to sidewalks within the Specific Plan boundary, there is an entry to the Walnut Creek Wash trail adjacent to the project.

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